



## Monthly Measure J Bond Program Status Report November 30, 2008

### **I. EXECUTIVE SUMMARY**

The Program Management Team (PMT) continues updating the Bond Program Executive Committee (BPEC) on budget and schedule issues for each project. The PMT also continues to work with the Project User Groups, College Presidents and Chancellor to ensure alignment of project scope with available budget as well as provide options to adequately fund projects. Good progress has been made on aligning project scope with available budget so that design can continue and thus avoiding significant project delays. The Sutter County Facility project remains as the most challenging of projects to align with the available budget. This is due to the increase of building area housing the educational component of the project.

The District-Wide Furniture, Fixtures and Equipment (FF&E) effort to select educational furniture is nearing completion. Based on the evaluation results gathered from faculty, students and District staff during the Furniture Faire conducted at Yuba College, Woodland Community College and Clear Lake campuses in November and December a list of selected furniture will be created and become the basis for future educational furniture procurement.

The second phase of work for the committee will be to establish the performance criteria for office furniture. Once that has been completed a second District wide "Furniture Faire" will be conducted to display and evaluate office furniture.

### **II. MASTER SCHEDULE SUMMARY**

The Measure J Bond Program Master Schedule is updated with current status on a monthly basis in order to track the progress of design consultants and contractors against the baseline Implementation Plan.

A six month look-ahead schedule (containing only those activities occurring within the six months of the program following the date of the reporting period) is included as Attachment A to this report. For the full and summary schedules, see the Quarterly Report dated September 30, 2008.

### III. COST REPORT

The current Program Cost Summary (Attachment B) was created using the District Cost Report dated November 30, 2008.

### IV. FUNCTIONAL AREA REPORTS

#### ***Program Controls***

- *Measure J Website* – New RFP/RFQs and RFBs continue to be posted on the Measure J website to inform the community of upcoming activities for the Bond Program.
- *ePM* – See Budgets, below.
- *Budgets* – The PMT and District have uploaded the approved Measure J Bond budgets into both Datatel and Proliance. Transfer of cost data from Datatel to Proliance is now underway.
- *Scheduling* – See Item II, Master Schedule Summary, above.
- *Document Control* – Measure J Bond Program files are continually being created for active projects. Further file development and expansion will be ongoing as other projects come online.

#### ***Contracts***

During this period the District and the PMT continued the process of finalizing contracts and agreements for Architectural/Engineer (A/E) Services and various professional services that had been previously approved by the District and the Board of Trustees.

#### **Agreements for Architect/Engineer (A/E) Services:**

- *J-07 & J-09, Yuba College* – Interviews were conducted for the selection of the Architect/Engineer for Projects J-07, Building 500 Business Dept; and J-09 Building 700, Math/Engineering/Computer. The District recommendation for the award of this service will be brought forward to the Board of Trustees in the next reporting period. Execution of this agreement is anticipated to be completed during the subsequent reporting period as well.
- *J-42, Colusa County Educational Outreach Facility, Woodland Community College* – The District finalized its responses to comments to the A/E agreement that were previously submitted by the A/E. Execution of this agreement is now anticipated to be completed during the subsequent reporting period.
- *J-01, Sutter County Facility* – Comments to the A/E agreement previously submitted by the A/E are under review by the District. Execution of this

agreement is anticipated to be completed during the subsequent reporting period.

Professional Services Agreements:

As noted in previous reports, in response to Measure J Bond Program requirements the District has, or may subsequently, enter into more than one agreement with individual firms for separate and unrelated services. This is the result of specifically distinct solicitation and procurement efforts being undertaken by the District for each specific service or scope of work. This has continued during this reporting period.

The following agreements were previously approved for issuance and were fully executed during this period:

- *APIC Company* – Base Agreement for District-Wide, On-Call Project Inspection Services, Art Plunkett. Services to be authorized by project-specific Task Order Modifications.
- *Gelfand Partners Architects* - J-39, Multi-Bldg Renovations (Buildings 100-400), Woodland Community College.
- *ImageWorks Architecture, Inc.* – J-08 (Bldg. 600), J-16 (Bldg. 1300), J-19 (Bldg 1600), J-21 (Bldg 1800) - Multi-Building Renovations, Yuba College.

The following Professional Service Agreements and add-services were finalized, but full execution of each was pending as of the close of the reporting period:

- *ImageWorks Architecture, Inc.* – Add Service, to a previously executed agreement for coordination, design and administration of installation for a backup generator for the District's computer server room.
- *ImageWorks Architecture, Inc.* – Add Service, to a previously executed agreement to develop overall campus fire access plan for Yuba College, for use by emergency response vehicles and personnel.
- *Gelfand Partners Architects* – District Design Project Standards and Guidelines.
- *Sandis Surveyors* – Separate Agreement for the preparation of a study of the Water System infrastructure on the Yuba College Campus.
- *Sandis Surveyors* – Add Service, to a previously executed agreement to provide a topographic site survey for the Allied Health and Public Safety Building, Yuba College (J-25).
- *MTWgroup Architects* – Add Services for preparation of a Storm Water Pollution Prevention Plan (SWPPP) and accessible parking design services for Woodland Community College (J-40).

- *Dovetail Decision Consultants* – Preparation of a District-Wide furniture standards program, to include the development of Furniture, Fixtures, & Equipment (FF&E) performance criteria and selection process documentation.
- *APIC Company* – On-Call Project Inspection Services: Modification #1, Police Relocation Project (J-39) Woodland Community College.
- *Sally Swanson Architects* – Modification to a previously executed agreement for elimination of scope for the preparation of construction documents for Information Technology (IT) and Audio Visual (AV) connections to the Modular Buildings at Yuba College.
- *Sally Swanson Architects* – Add Service, to a previously executed agreement. For construction administration services for the arson portable replacement, Yuba College.
- *Neil O. Anderson and Associates* - Geologic Hazards Assessment (GHA) and Geotechnical Investigation Services for the Colusa County Educational Outreach Facility Site (J-42), Woodland Community College.

*DMJM CM Project Assignment Amendments (PAA)*

Subject to Measure J Program requirements the District periodically authorizes the performance of Construction Management (CM) services for specific projects to DMJM H&N by the mutual execution of project-specific PAAs. None were issued during this reporting period.

*Solicitations:*

- *Informal Bid 08-1007-J39 – (CUPCCAA) Woodland Community College Geology Laboratory Renovation.* The bid has been released for interior improvements to Building 300, rooms 305, 305a, and 301a for use as geology lab, prep/storage area, and office as well as upgrades to adjacent toilet rooms. An award has been made to Hart Development, Inc., and construction has commenced.

*Outreach:*

The District published the following required annual notice in the Marysville “Appeal Democrat”, the Woodland “Daily Democrat,” and “Lake County Bee”:

“Notice is hereby given that the Yuba Community College District (the “District”) has elected to participate in the California Uniform Public Construction Cost Accounting Act (CUPCCAA), “the Act.” Public projects, as defined by the Act and in accordance with the limits listed in Section 22032 of the Public Contract Code, will be let to contract by informal procedures as set forth in Sections 22032-22045 of the Public Contract Code. **All licensed contractors are invited to submit the name of their firm to the District for inclusion in the District’s list of qualified bidders for Calendar Year 2009.** Interested Contractors are required to complete and submit to the District the Yuba Community College

District (YCCD) Bidders List Information Form This can be found on the District webpage at <http://www.yccd.edu/measurej/index.html>. Contractors are to download this form, provide all required and requested information, and submit the form to: Yuba Community College District, Director of Purchasing/Contracts.”

### ***Planning / Pre-Design***

- *College Bond Steering Committees* – Bond Steering Committees at Yuba College and Woodland Community College continue to be updated on a bi-weekly basis by the PMT, on all activities related to their specific campuses as well as District-wide activities. Due to the upcoming holiday season, it is anticipated that meetings during the month of December will be rescheduled to January 2009.
- *User Planning Groups* – User Planning Groups have been established for the following projects:

Sutter County Facility, Yuba College/District  
Clear Lake Student Services Center, Clear Lake Campus, Yuba College  
Building 400 – Theater Renovation, Yuba College  
Allied Health and Public Safety Building, Yuba College  
PE Complex Project, Yuba College  
Building 500 – Business Department, Yuba College  
Building 700 – Mathematics, Engineering & Science, Yuba College  
Building 700 – Student Services Center, Woodland Community College  
Colusa County Outreach Facility – Woodland Community College  
Grounds Improvements – Woodland Community College  
Furniture, Fixtures & Equipment (FF&E) Standards, District Wide  
Building 600 – Applied Arts, Science & Technology, Yuba College  
Building 1300 – Collins Hall, Yuba College

- Other User Planning Groups to be established in the coming months include:

Building 1800 – Student Services, Yuba College  
Multiple Projects (100, 200, 300 & 400), Woodland Community College  
Building 1100 – Library & LRC, Yuba College

- *Sustainability Goals* – The consulting firm, Interface Engineering, has completed their study on various options for a Central Plant at Yuba College. In January 2009, Interface will present their recommendations and cost estimates to the District in order to determine the best and most cost effective approach to achieve the District’s sustainability goals for Yuba College.

The next step will be to establish a District Wide Energy Master Plan. An Energy Master Plan will identify short-term and long-term sustainability and energy goals of the District and a strategy for implementation.

- *Office and Classroom Furniture Standards* – The District, Yuba College and Woodland Community College each have representatives working with the District’s FF&E consulting firm, Dovetail, to define furniture performance criteria and participate in the developing of District-Wide Furniture Standards. A “Furniture Faire” to display and evaluate educational furniture has been conducted at the Clear Lake Campus during the week of November 10<sup>th</sup>, Woodland Community College the week of November 17<sup>th</sup> and finally, the Yuba College campus the week of December 1<sup>st</sup>. A separate “Furniture Faire” displaying office furniture will be scheduled early part of 2009.
- *Office and Classroom Space Standards* – Dovetail, working closely with the District, Yuba College and Woodland Community College administration has developed the final draft for District-Wide Office and Classroom Standards and is ready for acceptance by the District. Once accepted, this document will be made available to the design architects and user groups to ensure design consistency of faculty, counselor, administrative offices, classrooms and support spaces. See attached “Yuba Community College District Facilities Space Standards Guidelines” dated October 28, 2008.
- *District-Wide Facilities Standards* – The District, Yuba College and Woodland Community College continues to work with Gelfand Partners Architects to define District/College facilities standards. This new District-Wide Facilities Standards document will include the Maintenance & Operations, Security, Technology and Audio/Visual Standards. A draft document will be ready for District review in January 2009.
- *Architectural/Engineering (A/E) Firm Interviews* – On November 13<sup>th</sup>, the PMT and District interviewed firms to provide design services for the renovation of Building 500 – Business Department, Yuba College and Building 700 – Mathematics, Engineering & Science, Yuba College. The interview committee recommendation for the A/E selection approval will go to the December Board of Trustees.
- *Environmental Work* – EDAW continues the preparation of an Initial Study/Mitigated Negative Declaration (IS/MND) for the Sutter County site. The draft report will be ready in January 2009 for District comment.
- *Geotechnical and Topographical Work* – Geotechnical field work at the Colusa County site started this month with the Geo-Hazard and Geotechnical Reports scheduled to be submitted to the District in January 2009.

Geotechnical field work for the PE Complex Project will begin on the Yuba College campus in January 2009. Topographical survey work was completed during the month of November.

## V. PROJECT STATUS (Attachment C)

### Project Activity Summary

#### **Yuba College – Marysville**

- J-01 – Sutter County Facility, Educational Component – (tBP Architects)
  - College and Architect continue to work towards resolving scope and budget issues.
  - Programming has been completed and the Programming Document will be ready for review in early January 2009.
  
- J-06 – Building 400, Performing Arts Renovation (HGA Architects)
  - DSA review
  
- J-07 – Building 500, Business Department (DLR Architects)
  - Architect has been selected and project kick-off meeting scheduled for January 2009 (Pending Board of Trustees Approval December 10).
  - This project will be combined with Building 700.
  
- J-08 – Building 600, Applied Arts & Science/Technology (ImageWorks)
  - Scope assessment and project programming has been completed and schematic design continues to further define scope and budget.
  
- J-10 – Building 800, Life Sciences & Nursing Renovation (Lionakis)
  - Design work has been completed and submitted for College review on November 17, 2008.
  
- J-12 – Building 1000 – Liberal Arts/Consumer Education Renovation (Lionakis)
  - Project Close-out is to be completed in December 2008.
  - The PMT is addressing roof leaking problems with the architect and contractor. An immediate fix to the identified areas and potential problem areas has begun while a long-term permanent fix is determined.
  
- J-14 – PE Complex (Stafford King Weise Architects – SKW)
  - Final Programming Document has been submitted to the College for review. Schematic Design has begun.
  
- J-16 – Building 1300 – Collins Hall (ImageWorks)
  - Scope assessment and project programming has been completed and schematic design begun to further define scope and budget.
  
- J-19 – Building 1600 – Warren Hall (ImageWorks)
  - Assessment of this building will be postponed until the future for this building complex is better defined.

- J-21 – Building 1800 – Student Services (ImageWorks)
- Scope assessment and project programming has been completed and schematic design begun to further define scope and budget.

- J-25 – Allied Health & Public Safety Building (LPA Sacramento)
- Scope and budget issues have been resolved.
  - Programming now continues and is anticipated to be completed by the end of December 2008.

### **Yuba College – Clear Lake Campus**

- J-32 – Student Services Building
- No activity to report.

- J-33 – Renovation of Portables & Utilities Upgrade
- No activity to report.

### **Woodland Community College**

- J-35 – Building 700 – Student Services Center (gkkworks)
- Design Development has been completed and submitted to the College for review and comment. Design has now moved into the construction document phase of work.
  - Office move strategy is being developed in preparation for construction.
  - First move related to the Building 700 Renovation Project involves relocating Financial Aid during the Winter Break.

- J-39 – Building 100, 200, 300 & 400 Renovations (Gelfand Partners Architects)
- Campus Police Relocation: Construction has been completed.
  - Geology Lab Relocation: Construction has started and will be completed in early January 2009.
  - Multi-Building Renovations: Scope assessment and project programming has begun with the development of the move requirements of the Building 700 Renovation Project.

- J-40 – Grounds Improvements – Gibson Road Frontage (MTWgroup)
- Construction is complete and punch walk is scheduled to be inspected December 1. It is anticipated the Board of Trustees will be asked to accept the project as complete at their January meeting.

- J-42 – Colusa Outreach Facility (Beverly Prior Architects)
- Schematic Design has been completed and submitted to the College for review and comment. Design will now move into Design Development.

## **District**

J-01 – Sutter County Facility, District Component (tBP Architects)

- District and Architect continue to work towards finalizing scope and budget.
- Programming has been completed and the Programming Document will be ready for review in early January 2009.

## **District-Wide**

J-43 – Furniture, Fixtures & Equipment (FF&E) (Dovetail Decision Consultants)

- FF&E Selection Committee has is in the process of identifying the “short-list” of educational furniture that was made available for District wide viewing and evaluation in the form of a “Furniture Faire” at Yuba College, Woodland Community College and Clear Lake campuses during the month of November and December 2008.

## Construction Management

### **Yuba College – Marysville**

J-12 – Building 1000 Modernization

- Formal Notice of Completion (NOC) was approved by the Board of Trustees in December. After award of the NOC, work will begin on securing a contract to replace the clerestory windows in the building.
- All landscaping/irrigation work at Building 1000 has been completed.

J-28 – Swing Space

- Work on the new replacement portable classroom (now Classroom 3011) is in close-out with DSA.

J-23 – East Parking Lot

- Bidding to resurface the Yuba-Sutter Transit Bus Stop, located in the East Parking Lot, was done in late November. The work will begin, and be completed, the first week of December.

J-30 – Technology/Telecoms/Security Systems

- The Construction Management Team is working closely with the District IT Director on three upcoming projects for the IT Department; an emergency generator to backup the main IT server in Building 100B, a fiber-optic linking of Rooms 138 and 120 in Building 100B to expand the IT server room’s floor space, and data/telephone/Audio/Visual hookups for the portable classroom village, Building 3000.

## Woodland Community College

### J-40 – East Gibson Road Landscape Improvements

- The Board of Trustees at the August 6, 2008 board meeting approved the award to Procida Landscape. Construction began on Monday, August 11, 2008. The contractor has now completed all phases of the project, including the West lot, the East lot and the entire berm. The second and final phase of the Project was completed on November 25<sup>th</sup> and the punchlist work is to be inspected on December 1, 2008.
- The ninety day maintenance period is in progress on both phases, with the West side maintenance period ending Jan. 3 2009, and the East side maintenance period ending March 3, 2009 during which time the contractor is maintaining all the plantings.

### J-39.1 – Campus Police Relocation

- This CUPCCAA project was awarded on October 13<sup>th</sup> to Wayne Neault Construction (WNC) of Marysville. Work started Oct 17<sup>th</sup> and, as of November 30, 2008, is substantially complete.
- The contractor is currently working on punchlist items and expects to be ready for inspection in a few days.
- WNC has completed this project two weeks ahead of schedule

### J- 39.2 – Geology Lab Renovation

- The Geology / Physical Sciences Lab Conversion bid Thursday, November 13, 2008. This infill project was awarded to Hart Development and is scheduled to be done before school starts next semester. This project involves converting a computer lab into a fully furnished earth sciences lab by adding new cabinets with new sinks, and new data and electrical power outlets and new lab tables and chairs. In addition, it involves remodeling two storerooms into a new geology prep room. The remodel Preconstruction Meeting was held November 25 and the contractor for the remodel portion of the project is scheduled to start on December 1, 2008. Completion is set for January 9, 2009.
- The casework portion of this project was bid separately to get a head start the long lead time required to fabricate. That bid was awarded to NWD, Inc., who has started production.

Activity ID	Activity Description	WD Dur	Rem Dur	Planned Start	Planned Finish	2008											
						JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN
<b>Woodland Community College Campus</b>																	
<b>J-40 Gibson Road Landscape Improvements</b>																	
WCJ401160	Bid Period	21	0	13JUN08A	11JUL08A												
WCJ401170	Bid Opening	0	0	14JUL08A													
WCJ401180	Evaluate Bids	2	0	14JUL08A	15JUL08A												
WCJ401190	Prepare BOT Notice of Intent to Award	1	0	16JUL08A	16JUL08A												
WCJ401200	Board of Trustees Authorize Contract Award	0	0	06AUG08A													
WCJ401210	Award Contract	1	0	13AUG08A	13AUG08A												
WCJ401220	NTP	0	0	25AUG08A													
WCJ401230	Construction - Gibson Rd LS Improvements	60	0	25AUG08A	17NOV08A												
WCJ401240	Contract Close-Out	6	0	18NOV08A	25NOV08A												
<b>J-39 Multi Bldg Renovations - Bldgs 100 - 400</b>																	
WCJ391110	Board of Trustees Approves Award of Design	0	0	16JUL08A													
WCJ391120	District Issues Design Contract	0	0	23JUL08A													
WCJ392100	Issue Design NTP	0	0	06AUG08A													
WCJ391005	Develop Needs Assessment	24	2	07AUG08A	02DEC08												
WCJ392115	A/E Develops Schematic Design Documents	5	5	03DEC08	09DEC08												
WCJ392125	Schematic Design Cost Estimate Submittal	0	0	05DEC08	05DEC08												
WCJ392130	A/E Develops Design Development Documents	10	10	05DEC08	18DEC08												
WCJ392120	Schematic Design Documents Review	3	3	10DEC08	12DEC08												
WCJ392145	Design Development Cost Estimate Submittal	0	0	19DEC08	16DEC08												
WCJ392135	Design Development Documents Review	3	3	19DEC08	23DEC08												
WCJ392150	A/E Develops Construction Documents to 50%	15	15	24DEC08	15JAN09												
WCJ392160	50% CD Cost Estimate Submittal	0	0		13JAN09												
WCJ392165	A/E Develops Construction Documents to 90%	15	15	14JAN09	03FEB09												
WCJ392155	50% Construction Documents Review	3	3	16JAN09	20JAN09												
WCJ392180	90% CD Cost Estimate Submittal	0	0		30JAN09												
WCJ392190	A/E Develops Construction Documents to 100%	5	5	02FEB09	06FEB09												
WCJ393125	Develop BOT Agenda Item-Dsgn Apprl & Bid	5	5	02FEB09	06FEB09												
WCJ392170	90% Construction Documents Review	3	3	04FEB09	06FEB09												
WCJ393110	100% CD Cost Estimate Submittal	0	0		04FEB09												
WCJ392195	100% Construction Documents Review	3	3	09FEB09	11FEB09												

<b>YCCD MEASURE J BOND PROGRAM</b>  <b>STATUS THROUGH NOVEMBER 30, 2008</b>  <b>MASTER SCHEDULE - SIX MONTH LOOKAHEAD</b>	<b>ATTACHMENT A</b>
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**YUBA COMMUNITY COLLEGE DISTRICT  
MEASURE J BOND PROGRAM  
PROGRAM COST SUMMARY**

Totals as of November 30, 2008

		Current Project Budget	Total Estimated Construction Costs	Obligations / Commitments to Date	Paid to Date	Open Encumbrance	% Obligated	% Complete
<b>Project</b>	<b>Other Bond Costs</b>							
-	Issuance, Underwriting and Insurance Costs	\$ -	\$ -	\$ 1,713,582	\$ 1,713,582	\$ -	Complete	
<b>Project</b>	<b>District Facilities/Systems</b>							
J-01	Sutter County Facility	\$ 29,499,999	\$ 21,061,987	\$ 3,440,062	\$ 458,653	\$ 2,981,409	11.66%	1.55%
J-29	Payoff 11/05 Borrowing	\$ 4,971,026	\$ -	\$ 4,971,027	\$ 4,971,027	\$ -	Complete	
J-30	Technology/Telecoms/Security Sys	\$ 5,500,000	\$ 90,910	\$ 1,483,981	\$ 872,317	\$ 611,664	26.98%	15.86%
J-44	Bond Staff Support Costs	\$ 400,000	\$ -	\$ 32,624	\$ 32,624	\$ -		
J-45	Clearing Account	\$ -	\$ -	\$ 1,552,299	\$ 391,261	\$ 1,161,038		
J-48	Bldg 1700 – Remodel, Campus Police	\$ 300,001	\$ 227,618	\$ 2,868	\$ 2,868	\$ -	0.96%	0.96%
	<b>Subtotal Allocated Costs</b>	<b>\$ 40,671,026</b>	<b>\$ 21,380,515</b>	<b>\$ 11,482,861</b>	<b>\$ 6,728,750</b>	<b>\$ 4,754,111</b>		
<b>Project</b>	<b>Yuba College - Marysville</b>							
J-02	Bldg 100A – Administration Bldg	\$ 662,000	\$ 500,340	\$ 6,304	\$ 6,304	\$ -	0.95%	0.95%
J-03	Bldg 100B – Student/Instruction Services	\$ 3,722,003	\$ 2,589,940	\$ 34,631	\$ 34,631	\$ -	0.93%	0.93%
J-04	Bldg 200 – Music Department	\$ 897,429	\$ 648,900	\$ 8,176	\$ 8,176	\$ -	0.91%	0.91%
J-05	Bldg 300 – Student Center/Bookstore	\$ 2,236,837	\$ 1,567,400	\$ 92,693	\$ 63,693	\$ 29,000	4.14%	2.85%
J-06	Bldg 400 – Theatre	\$ 3,730,062	\$ 2,641,500	\$ 554,131	\$ 308,475	\$ 245,656	14.86%	8.27%
J-07	Bldg 500 – Business Dept (Classrooms)	\$ 8,759,490	\$ 5,964,460	\$ 75,170	\$ 75,170	\$ -	0.86%	0.86%
J-08	Bldg 600 – Applied Arts, Science/Tech	\$ 260,600	\$ 200,000	\$ 53,870	\$ 10,797	\$ 43,073	20.67%	4.14%
J-09	Bldg 700 – Math/Engineering/Computer	\$ 2,155,650	\$ 1,500,000	\$ 27,910	\$ 27,910	\$ -	1.29%	1.29%
J-10	Bldg 800 – Life Sciences & Nursing	\$ 180,150	\$ 150,000	\$ 39,459	\$ 27,359	\$ 12,100	21.90%	15.19%
J-11	Bldg 900 – Utilities Services	\$ 2,958,319	\$ 2,151,505	\$ 192,496	\$ 129,710	\$ 62,786	6.51%	4.38%
J-12	Bldg 1000 – Liberal Arts Consumer Ed	\$ 1,631,500	\$ 1,500,000	\$ 1,398,023	\$ 1,285,508	\$ 112,515	85.69%	78.79%
J-13	Bldg 1100 – Library & Language Arts	\$ 16,986,730	\$ 11,771,000	\$ 195,037	\$ 195,037	\$ -	1.15%	1.15%
J-14	Bldg 1200 – PE Complex	\$ 13,387,596	\$ 9,651,500	\$ 1,703,690	\$ 245,218	\$ 1,458,472	12.73%	1.83%
J-15	Bldg 1250 – ESL (Demolish Structure)	\$ 254,000	\$ 200,000	\$ 2,520	\$ 2,520	\$ -	0.99%	0.99%
J-16	Bldg 1300 – Collins Hall – Staff Offices	\$ 263,000	\$ 201,842	\$ 36,443	\$ 2,745	\$ 33,698	13.86%	1.04%
J-17	Bldg 1400 – Maintenance/Print Shop	\$ 1,244,945	\$ 884,822	\$ 25,263	\$ 25,263	\$ -	2.03%	2.03%
J-18	Bldg 1500 – Osuna (Decommission)	\$ 474,318	\$ 648,763	\$ 4,513	\$ 4,513	\$ -	0.95%	0.95%
J-19	Bldg 1600 – Warren Hall	\$ 504,000	\$ 386,800	\$ 59,923	\$ 4,873	\$ 55,050	11.89%	0.97%
J-20	Bldg 1700 – Automotive	\$ 100,000	\$ 75,873	\$ 16,956	\$ 1,068	\$ 15,888	16.96%	1.07%
J-21	Bldg 1800 – Student Services DSPS	\$ 214,505	\$ 163,995	\$ 57,866	\$ 2,230	\$ 55,636	26.98%	1.04%
J-22	Bldg 1900 – Distributive Ed Center	\$ 43,957	\$ 38,900	\$ 20,965	\$ 20,965	\$ -	47.69%	47.69%
J-23	East Parking Lot (included in J-25)	\$ -	\$ -	\$ -	\$ -	\$ -		
J-24	New Soccer Field (included in J-14)	\$ -	\$ -	\$ -	\$ -	\$ -		
J-25	Allied Health & Public Safety Building	\$ 18,971,950	\$ 13,900,000	\$ 1,882,617	\$ 255,480	\$ 1,627,137	9.92%	1.35%

Attachment B

**YUBA COMMUNITY COLLEGE DISTRICT  
MEASURE J BOND PROGRAM  
PROGRAM COST SUMMARY**

Totals as of November 30, 2008

		Current Project Budget	Total Estimated Construction Costs	Obligations / Commitments to Date	Paid to Date	Open Encumbrance	% Obligated	% Complete
J-26	Upgrade Press Box/Score Board, Etc. (Included in J-14)	\$ -	\$ -	\$ -	\$ -	\$ -		
J-27	Demolition Pool (Included in J-14)	\$ -	\$ -	\$ -	\$ -	\$ -		
J-28	Swing Space	\$ 742,008	\$ 80,000	\$ 836,188	\$ 836,188	\$ -	Complete	
J-47	YC Maintenance Equipment	\$ 250,000	\$ -	\$ 182,394	\$ 105,482	\$ 76,912		
	<b>Subtotal Yuba College - Marysville</b>	<b>\$ 80,631,048</b>	<b>\$ 57,417,540</b>	<b>\$ 7,507,238</b>	<b>\$ 3,679,315</b>	<b>\$ 3,827,923</b>	<b>9.31%</b>	<b>4.56%</b>
<b>Project</b>	<b>Yuba College - Clear Lake Campus</b>							
J-31	Pay Off COPS	\$ 3,053,259	\$ -	\$ 3,053,259	\$ 3,053,259	\$ -	Complete	
J-32	Student Services Center	\$ 19,670,000	\$ 14,346,145	\$ 268,525	\$ 233,481	\$ 35,044	1.37%	1.19%
J-33	Renovate Portables & Upgrade Utilities	\$ 1,560,999	\$ 1,150,331	\$ 31,692	\$ 31,692	\$ -	2.03%	2.03%
	<b>Subtotal Yuba College - Clear Lake Campus</b>	<b>\$ 24,284,258</b>	<b>\$ 15,496,476</b>	<b>\$ 3,353,476</b>	<b>\$ 3,318,432</b>	<b>\$ 35,044</b>	<b>13.81%</b>	<b>13.66%</b>
<b>Project</b>	<b>Woodland Community College</b>							
J-34	Performing Arts Center/ Culinary Arts	\$ 41,865,774	\$ 30,646,200	\$ 434,378	\$ 434,378	\$ -	1.04%	1.04%
J-35	Renovate Bldg 700	\$ 2,754,200	\$ 2,000,000	\$ 372,728	\$ 102,204	\$ 270,524	13.53%	3.71%
J-36	Multi-Purpose Facility	\$ 16,315,896	\$ 11,878,200	\$ 210,706	\$ 210,705	\$ -	1.29%	1.29%
J-37	Soccer Field (Deferred)	\$ -	\$ -	\$ -	\$ -	\$ -		
J-38	Baseball Field (Deferred)	\$ -	\$ -	\$ -	\$ -	\$ -		
J-39	Multi Bldg Renovations	\$ 1,959,313	\$ 1,437,500	\$ 408,963	\$ 106,963	\$ 302,000	20.87%	5.46%
J-40	Grounds Improvements	\$ 697,246	\$ 521,500	\$ 557,587	\$ 418,991	\$ 138,596	79.97%	60.09%
J-41	Softball Field (Deferred)	\$ -	\$ -	\$ -	\$ -	\$ -		
J-42	Colusa County Out Reach Facility	\$ 3,500,000	\$ 2,543,420	\$ 535,765	\$ 135,636	\$ 400,129	15.31%	3.88%
J-46	WCC Maintenance Equipment	\$ 150,000	\$ -	\$ 121,151	\$ 109,193	\$ 11,958		
	<b>Subtotal Woodland Community College</b>	<b>\$ 67,242,428</b>	<b>\$ 49,026,820</b>	<b>\$ 2,641,278</b>	<b>\$ 1,518,070</b>	<b>\$ 1,123,207</b>	<b>3.93%</b>	<b>2.26%</b>
<b>Project</b>	<b>Equipment</b>							
J-43	Group II Equipment	\$ 14,000,000	\$ -	\$ 98,164	\$ 51,618	\$ 46,546	0.70%	0.37%
	<b>TOTAL PROJECT COSTS</b>	<b>\$ 226,828,759</b>	<b>\$ 143,321,351</b>	<b>\$ 26,796,598</b>	<b>\$ 17,009,766</b>	<b>\$ 9,786,831</b>	<b>27.75%</b>	<b>20.85%</b>

**YUBA COMMUNITY COLLEGE DISTRICT  
MEASURE J BOND PROGRAM  
PROJECT STATUS MATRIX**

November 30, 2008

		Planning / Pre-Design	A/E Selection	Programming	Schematic Design	Design Development	Construction Documents	DSA	Bid & Award	Construction	Close-Out	Remarks
<b>Project</b>	<b>District Facilities/Systems</b>											
J-01	Sutter County Facility			●								
J-48	Bldg 1700 – Campus Police Relocation											
<b>Project</b>	<b>Yuba College - Marysville</b>											
J-02	Bldg 100A – Administration Bldg											
J-03	Bldg 100B – Student/Instruction Services											
J-04	Bldg 200 – Music Department											
J-05	Bldg 300 – Student Center/Bookstore											
J-06	Bldg 400 – Theatre							●				
J-07	Bldg 500 – Business Dept (Classrooms)		●			●						
J-08	Bldg 600 – Applied Arts, Science/Tech											
J-09	Bldg 700 – Math/Engineering/Computer		●									
J-10	Bldg 800 – Life Sciences & Nursing						●					
J-11	Bldg 900 – Utilities Services	●										
J-12	Bldg 1000 – Liberal Arts Consumer Ed											Project Complete.
J-13	Bldg 1100 – Library & Language Arts											
J-14	Bldg 1200 – Athletic Dept & Gym				●							
J-15	Bldg 1250 – ESL (Demolish Structure)											
J-16	Bldg 1300 – Collins Hall – Staff Offices					●						
J-17	Bldg 1400 – Maintenance/Print Shop											
J-18	Bldg 1500 – Osuna (Demolish Structure)											
J-19	Bldg 1600 – Warren Hall		●									On hold until further scope definition.
J-20	Bldg 1700 – Automotive											
J-21	Bldg 1800 – Student Services					●						
J-22	Bldg 1900 – Distributive Ed Center											Project Complete.
J-23	East Parking Lot – Resurface			●								
J-24	New Soccer Field			●								
J-25	Health & Public Safety Building			●								
J-26	Upgrade Press Box/Score Board, Etc			●								
J-27	Demolition Pool			●								
J-28	Swing Space											Project Complete.

**YUBA COMMUNITY COLLEGE DISTRICT  
MEASURE J BOND PROGRAM  
PROJECT STATUS MATRIX**

November 30, 2008

		Planning / Pre-Design	A/E Selection	Programming	Schematic Design	Design Development	Construction Documents	DSA	Bid & Award	Construction	Close-Out	Remarks
<b>Project</b>	<b>Yuba College - Clear Lake Campus</b>											
J-32	Student Services Center	●										
J-33	Renovate Portables & Upgrade Utilities											
<b>Project</b>	<b>Woodland Community College</b>											
J-34	Performing Arts Center/Culinary Arts											
J-35	Renovate Bldg 700						●					
J-36	Multi-Purpose Facility											FPP Development for June Submittal.
J-37	Soccer Field											Deferred/potential State Funding.
J-38	Baseball Field											Deferred/potential State Funding.
J-39	Multi Bldg Renovations			●								
J-39	Bldg. 300 - Campus Police Relocation									●		
J-39	Bldg. 300 - Geology Lab Relocation									●		
J-40	Grounds Improvements										●	Gibson Road Improvements
J-41	Softball Field											Deferred/potential State Funding.
J-42	Colusa County Outreach Facility					●						



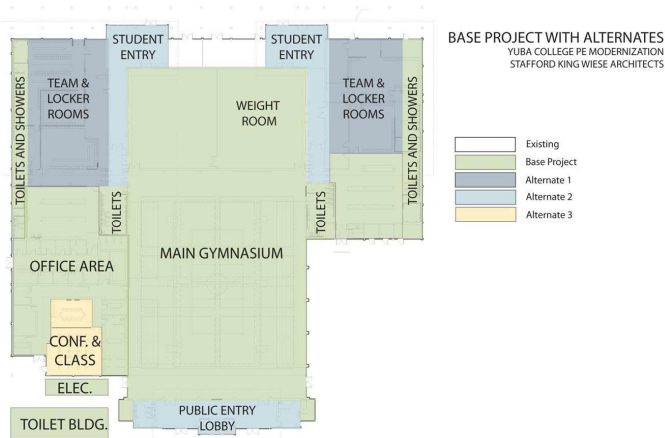
**Measure J Bond Program Status Report**  
 as of November 30, 2008  
 Attachment D



Campus Police Relocation, Construction in Progress  
 Woodland Community College



Geology Lab Renovation, Start of Demolition  
 Woodland Community College



PE Complex - Bldg. 1200, Floor Plan Diagram  
 Yuba College



PE Complex—Athletic Fields, Site Plan  
 Yuba College



Colusa County Educational Outreach Facility Concept Design  
 Woodland Community College

# **Yuba Community College District Facilities Space Standards Guidelines**

**Date: 28 October 2008**

**Prepared By:**

DOVETAIL DCI



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**Submitted by the Space Standards Guidelines Committee: K. Trutna, A. Fairchilds, A. Konuwa, B. Bell, M. Mills, and K. Trimble**

The Space Standards Guidelines Committee was charged with the task of providing the District with the design narrative and layouts for several types of space:

- Faculty Offices
- Counselor Offices
- Division Dean and Director Offices
- Meeting and Conference Rooms
- Typical Workstations
- Typical Classrooms

The following descriptions outline the *minimum requirements* for the physical, functional, and technological necessities of modern and efficient administrative and instructional environments. Other areas, not covered by this document, shall follow the same parameters relative to sizing, power and data receptacles, and the placement of building requirements.

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## **General Concerns and Comments for all Office Spaces**

After reviewing the offices currently in use throughout the District and looking at size and concerns stated from other campuses within the higher education environment, the Facilities Space Standards Guidelines Committee is proposing the following requirements be used as a guideline for office space design and implementation, District wide.

Following discussions with faculty, staff, and administration, we have determined that the current full time faculty office size is generally inadequate for the specified needs. Current faculty offices range from 65 to 120 sq. ft. in size across the District. It is the District's intention to standardize across the various locations to a size that is equitable and functional for the expected use over the life of the building environment, and remaining within the guidelines of the State Chancellor's Office capacity guidelines ("Cap Load"). There may be some project by project adaptations of these standards for "modernization" projects, which will be relayed by Facilities at the program phase.

The proposed standards reflect the clearances required for the **effective** utilization of Furniture and Equipment within each space. The desired minimum **usable** square footage is noted on each application's narrative and layout. Additional width or depth within the spaces would be acceptable, particularly in spaces that have structural elements, or more specialized areas. Please refer to each office type for minimum space recommendations.

Should a project architect find that they can not provide one of these minimum requirements, all variations must be presented to the Campus Facilities Committee for approval. These variations are to be project specific, rather than wholesale across the Facilities Design Guidelines document.

The committee acknowledges with these Facilities Space Standards Guidelines that structural details, such as columns, and architectural details, such as windows, may impact the final layout options available to the end user in specific spaces, such as offices. In the case of offices, exterior windows are shown as "Punch Out" for illustration purposes only, and are not to influence the building design. Power and data placements within offices are shown with the assumption that exterior walls will NOT accept this infrastructure. It is the District's desire that three of the four office walls DO hold power and data receptacle, but if the building construction does not allow this, the placement of the receptacles is to be on a minimum of two parallel walls. Each configuration offered allows for a minimum of two options **after** these issues have been taken into consideration.

In order to effectively support the layouts and requirements of these spaces, the design subcommittee requests that the architect specify that all light switches and thermostats be placed within the ADA zone (within 60" inches inside an office with an inward opening door, or within 18" of the strike side of a door). This information will need to be communicated to the contractor in such a way that they accept responsibility for moving any wall mounted unit which is placed outside of this area.

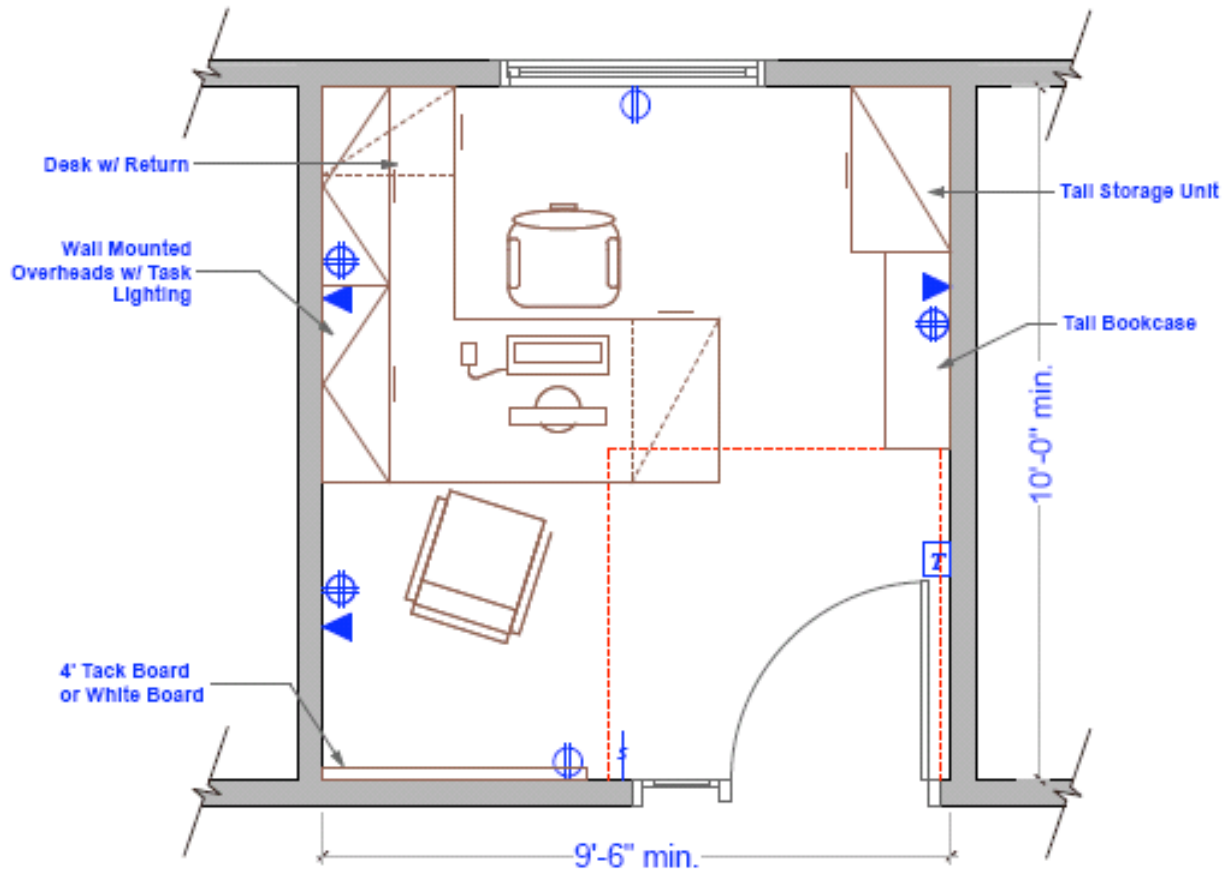
Please note that the District does not support individual printers per office. Personal printers **might** be provided by users. Refer to current District Telecommunication Standards for additional information on all related issues.

## **Full Time Faculty Office Space Narrative**

- Minimum space required: 100 usable square feet, with a desired minimum width of 9'6" clear, to allow for user flexibility of layout. See Faculty Options 1 and 2 for additional *desired* minimum clear dimensions. NOTE: Product shown is not representative of final furniture standards. Updates on this information to follow.
  
- Building Infrastructure (Group 1 details):
  - Window with Campus Standard shades
  - Door with side light
  - Backing behind sheetrock on full length of two walls perpendicular to window (or door) wall, to allow for Group II horizontally mounted overhead cabinets. See Faculty Options 1 and 2 for potential placement of cabinets, for reference.
  - (3) each four-plex power outlets. See Faculty Options 1 and 2 for desired placement, noting that in building conditions where exterior wall construction allows the installation of power/data, one set of outlets are to be placed on the window wall.
  - (2) each convenience duplex receptacles on other walls
  - Telephone/Network port beside power outlets as noted in current Telecommunication Standards
  - Indirect lighting if possible, with task specific lighting (Group 2)
  
- Furniture/accessories requirements (Group 2 details):
  - Desk with Mobile Drawer Storage
  - Ergonomic Office Task Chair on casters
  - 18' of Floor Based Binder/Book Storage, and 10' of Filing Storage
  - Overhead Cabinet, horizontally mounted, with under cabinet task light
  - Visitor chair per office, with access to additional chairs or meeting space
  - Computer (refer to District Telecommunication Standards for current Faculty configurations)

## **Adjunct Faculty Office Space Narrative**

- The design intent is for Adjunct Faculty to share unassigned workstations. However, it is possible that they will be assigned to share a “drop in” space within a close office. The desired footprint per person would be approximately 50 sq. ft. in shared office or open configuration, including storage. NOTE: Product shown is not representative of final furniture standards. Updates on this information to follow.
- Furniture/accessories requirements per person (Group 2 details):
  - Desk/Table, placed within walled space or panel surround
  - Ergonomic Office Task Chair on casters
  - Lockable storage unit, shared
  - Access to Guest Chair or Meeting Table and Chairs
  - Computer (refer to District Telecommunication Standards for current Faculty configurations)

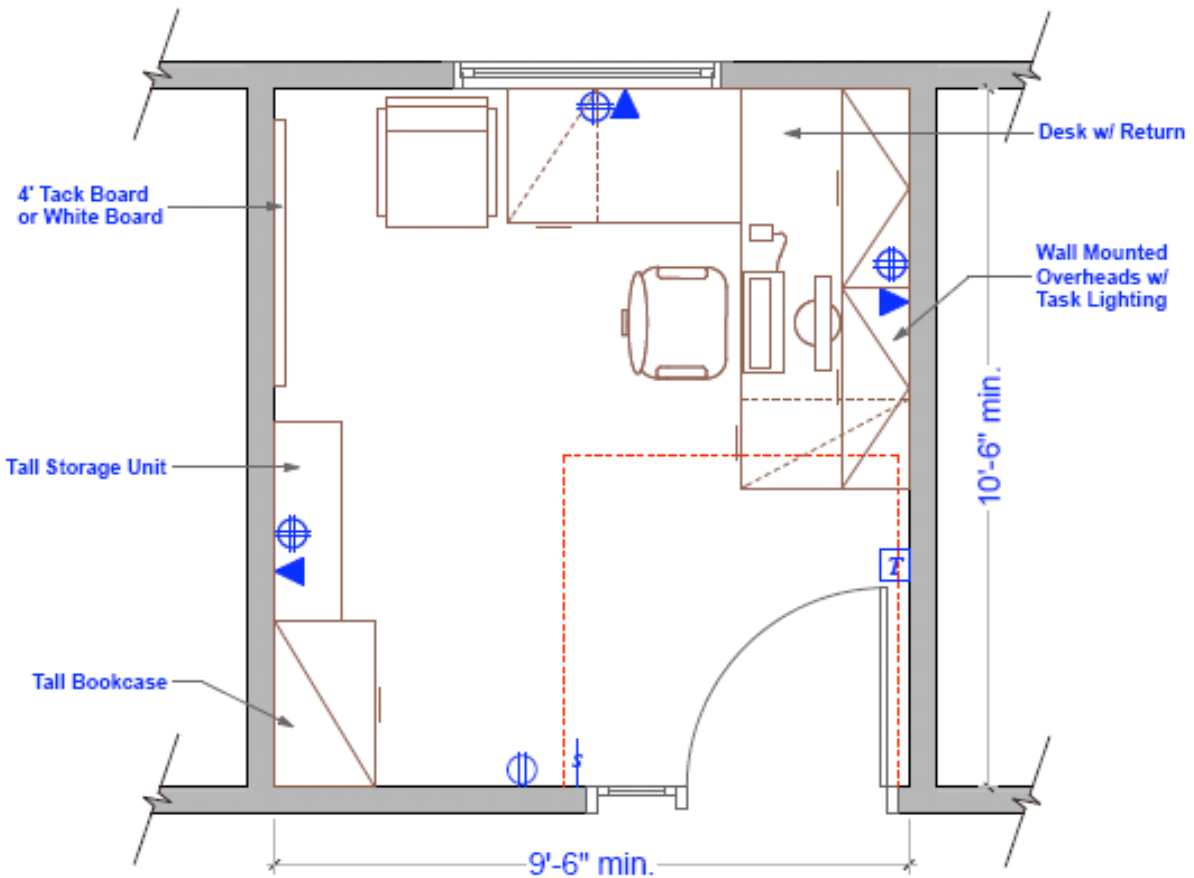


**FACULTY OFFICE 100 SQ. FT MINIMUM  
LAYOUT OPTION 1**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 1 October 2008



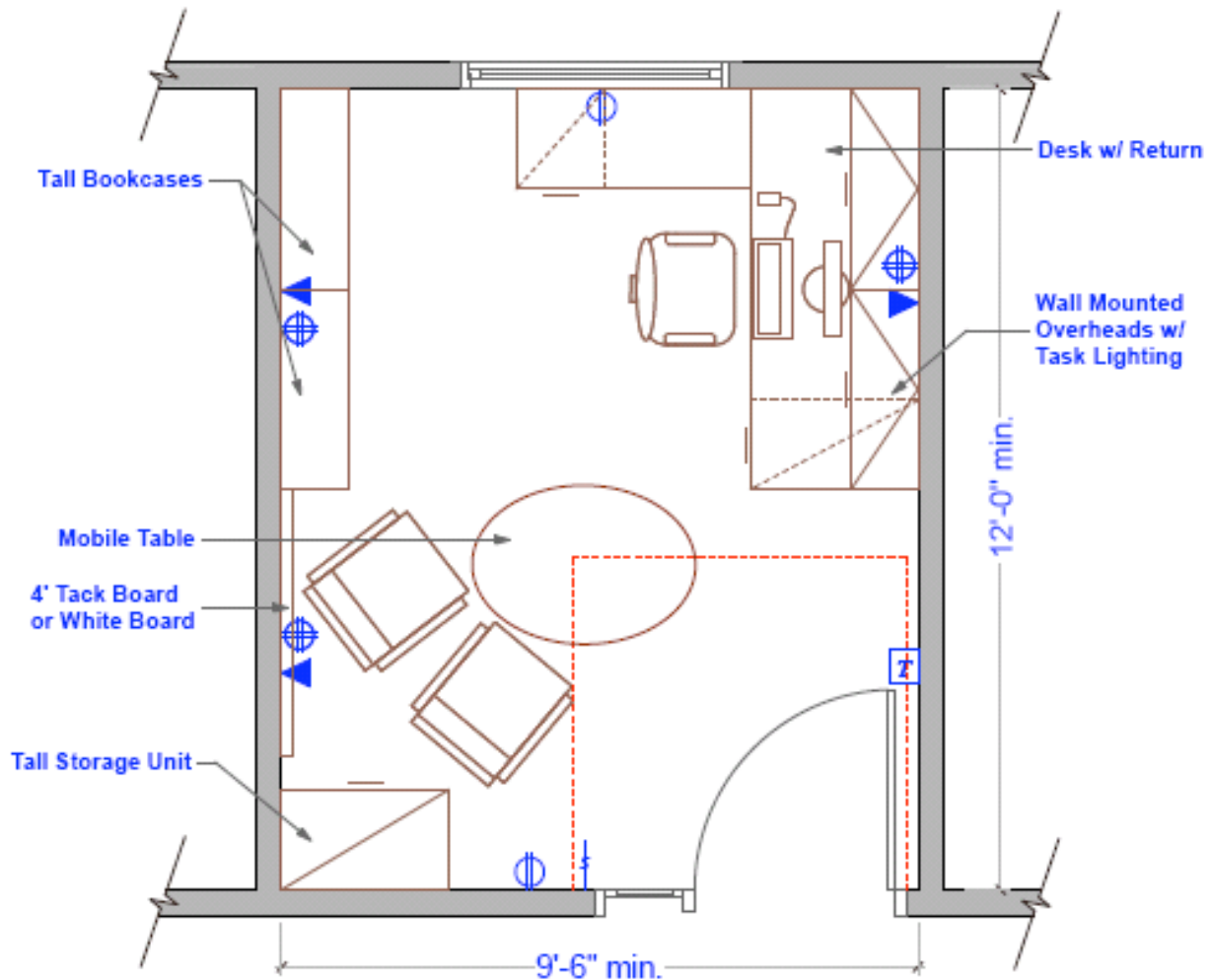
**FACULTY OFFICE 100 SQ. FT MINIMUM  
LAYOUT OPTION 2**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only  
Date: 28 October 2008

## **Full Time Counselor Office Space Narrative**

- Minimum space required: 120 usable square feet, with a desired minimum width of 9'6" clear, to allow for user flexibility of layout. See Counselor Options 1 and 2 for additional *desired* minimum clear dimensions. NOTE: Product shown is not representative of final furniture standards. Updates on this information to follow.
  
- Building Infrastructure (Group 1 details):
  - Window with Campus Standard shades
  - Door with side light
  - Backing behind sheetrock on full length of two walls perpendicular to window (or door) wall, to allow for Group II horizontally mounted overhead cabinets. See Faculty Options 1 and 2 for potential placement of cabinets, for reference.
  - (3) four-plex power outlets. See Counselor Options 1 and 2 for desired placement
  - (2) each convenience duplex receptacles on other walls
  - Telephone/Network port beside power outlets as noted in current District Telecommunication Standards
  - Indirect lighting if possible, with task specific lighting (Group 2)
  
- Furniture/accessories requirements (Group 2 details)::
  - Adjustable Height Workstation with mobile drawer storage (Pencil/Box/File Combination), and Mobile File Unit with Top
  - Ergonomic Office Task Chair on casters
  - Mobile Meeting Table
  - 30' of Floor Based Binder/Book Storage, and 12' of Filing Storage
  - Overhead Cabinet, horizontally mounted, with under cabinet task light
  - (2) Visitor chairs per office, with access to additional chairs
  - Computer (refer to District Telecommunication Standards for current Counselor configurations)

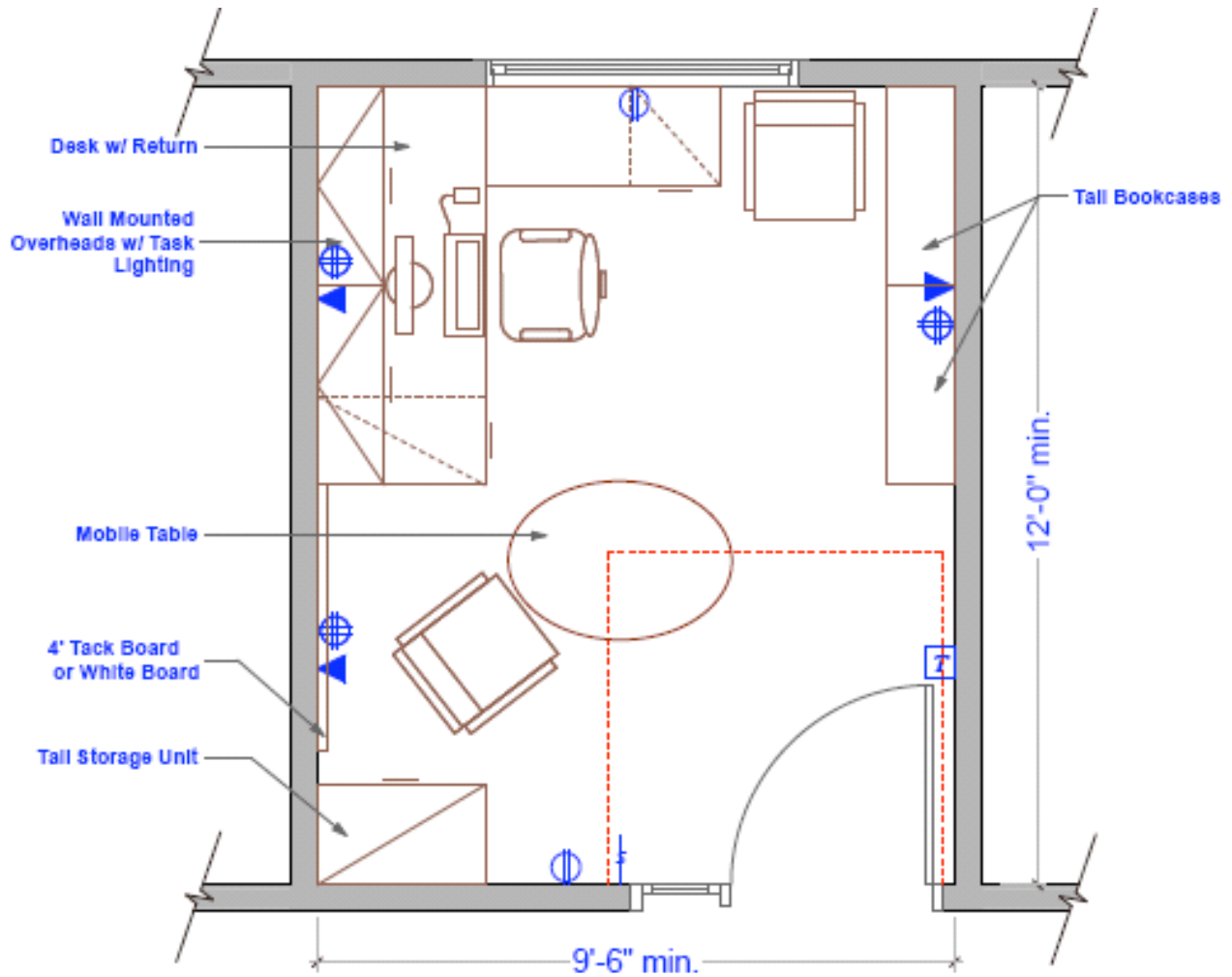


**COUNSELOR OFFICE 120 SQ. FT MINIMUM  
LAYOUT OPTION 1**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 1 October 2008



**COUNSELOR OFFICE 120 SQ. FT MINIMUM  
LAYOUT OPTION 2**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 1 October 2008

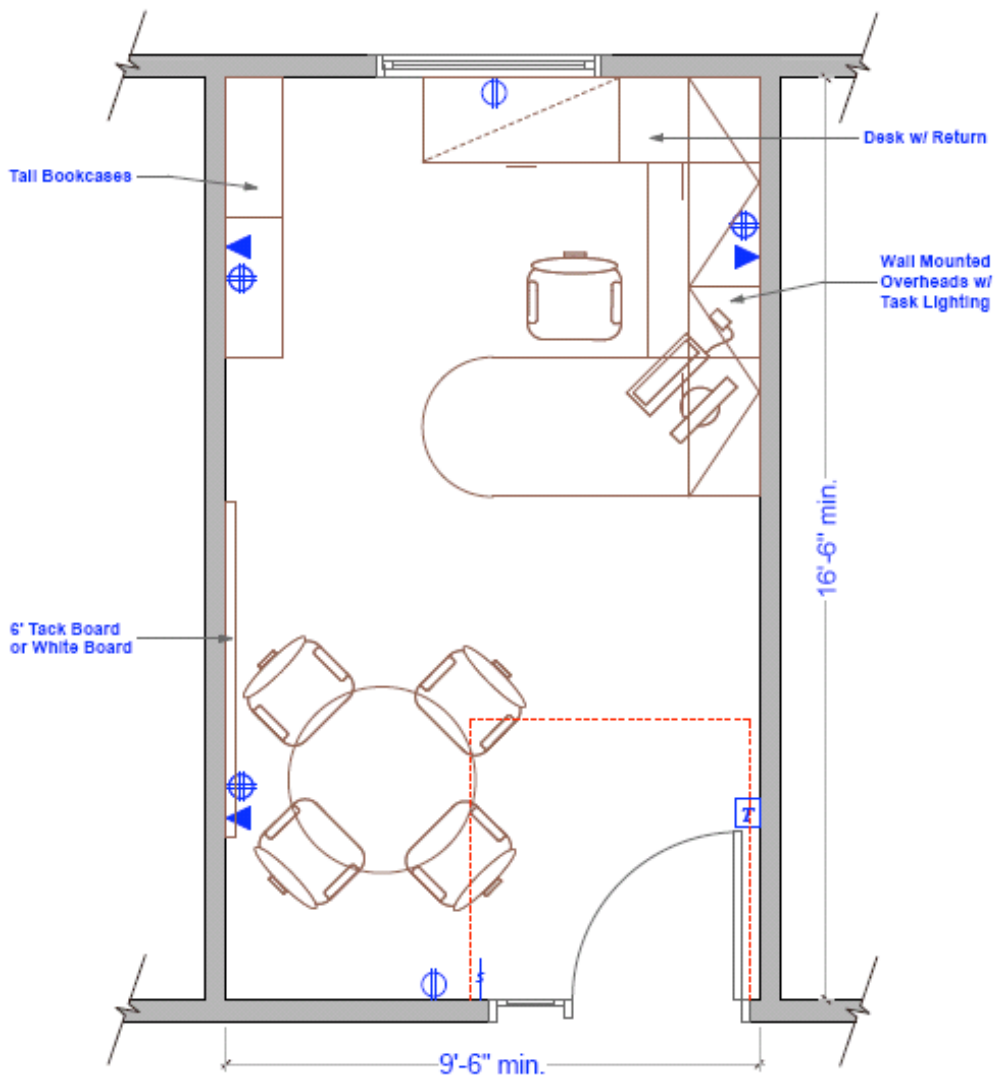
## **Division Dean Suite and Director Office Narrative**

- Minimum space required - Dean: 140 usable square feet, if design with adjacent Huddle Meeting Room, or 160 usable square feet, if designed to accommodate 3 person small, confidential meetings; Director: 120 usable square feet, if design with adjacent Huddle Meeting Room, or 140 usable square feet, if designed to accommodate 3 person small, confidential meetings; Admin: 200 square feet, in open workstation format, including Storage and Reception, or larger if dictated by program requirements; Workroom: Approximately 180 square feet. See Division Dean Office and Director Office Layout options for *desired* minimum clear dimensions. Layouts for the workroom and administrative spaces to be planned by project architect in accordance with Division's program requirements.
  
- Building Infrastructure – Dean or Director (Group 1 details):
  - Window with Campus Standard shades
  - Door with side Light
  - Backing behind sheetrock on full length of two walls perpendicular to window (or door) wall, to allow for Group II horizontally mounted overhead cabinets. See Division Dean Office and Director Office Layout options for potential placement of cabinets, for reference.
  - Minimum of (4) four-plex power outlets. See Division Dean Office and Director Office Layout for placement
  - Telephone/Network port beside power outlets as noted in current District Telecommunication Standards
  - Additional convenience receptacles on perpendicular walls
  - Indirect lighting if possible, with task specific lighting (Group 2)
  
- Building Infrastructure – Workroom (Group 1 details):
  - Minimum of (4) duplex power outlets, with at least (2) at +42"H
  - Telephone/Network port beside power outlets as noted in current District Telecommunication Standards
  - Tack Board, 4' x 8'
  - Wall clock

- Furniture/accessories – Dean or Director (Group 2 details):
  - U-shaped Adjustable workstation with Mobile Storage below and closed storage above, wall mounted
  - Ergonomic Office Task Chair on casters
  - 22' of Binder/Book Storage, and 12' of Filing Storage
  - (3) Visitor chairs per office, or access to additional meeting space
  - Computer (refer to current District Telecommunication Standards for current Dean or Director configurations)
  - Task specific lighting, table based
  - Personal Laser printer
  
- Furniture/accessories – Staff (Group 2 details):
  - (2) Workstations with Mobile Storage below and closed storage above
  - (2) Ergonomic Office Task Chairs on casters
  - 16' of Binder/Book Storage, and 12' of Filing Storage within stations
  - 36' of Filing Storage close by workstations
  - (2) Computers (refer to current District Telecommunication Standards for current staff configurations)
  - Waiting Area with seating for minimum of (2) people at one time
  - Shared Networked Laser printer
  - Potential for shared typewriter between two stations
  
- Furniture/accessories – Workroom (Group 2 details):
  - Adjustable Mail Slots for up to 75 faculty/staff
  - 45' of Supply Storage
  - Copier/Scanner/Fax/Printer Unit, with adjacent worksurface and recycling access
  - Shredder

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**DEAN OFFICE 160 SQ. FT MINIMUM  
ROOM SIZING OPTION 1**

**YCCD Facilities Design Guidelines**

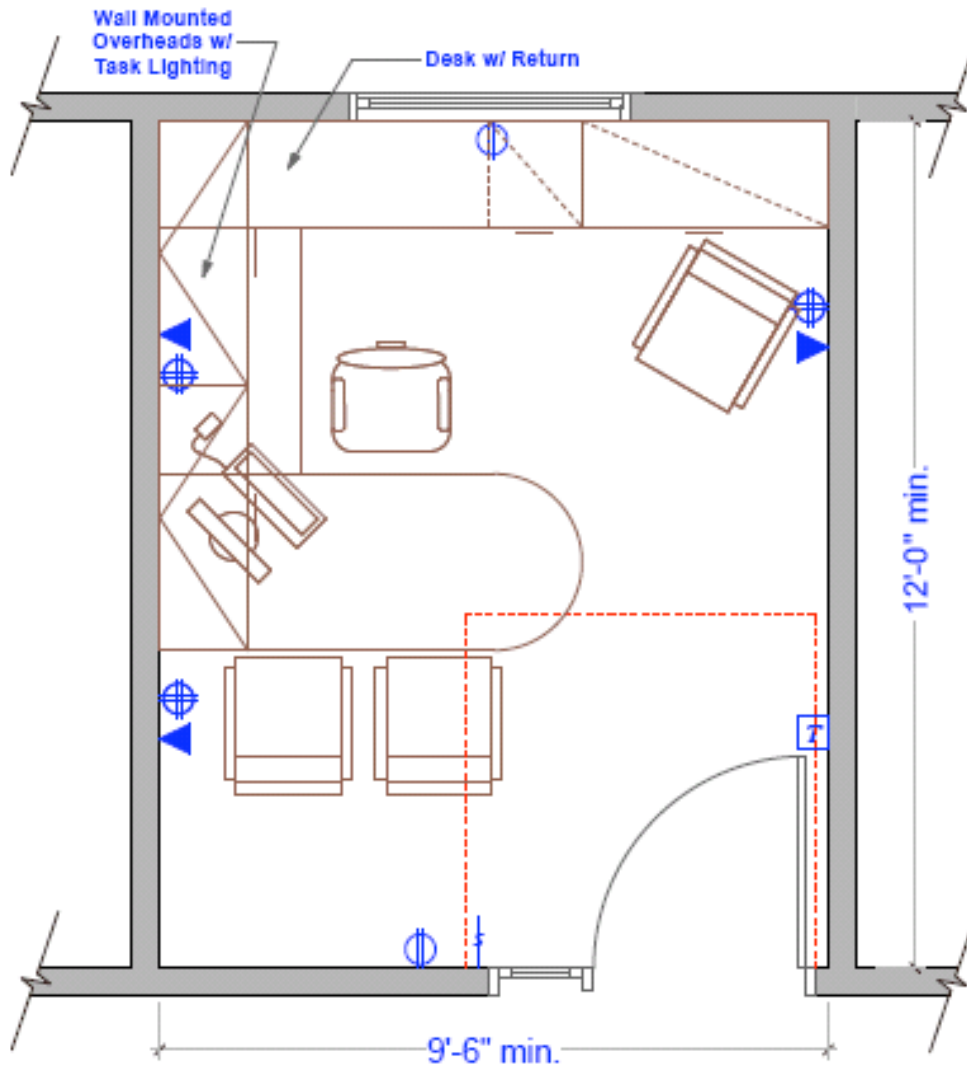
Approximate Room Sizing Only

Date: 1 October 2008



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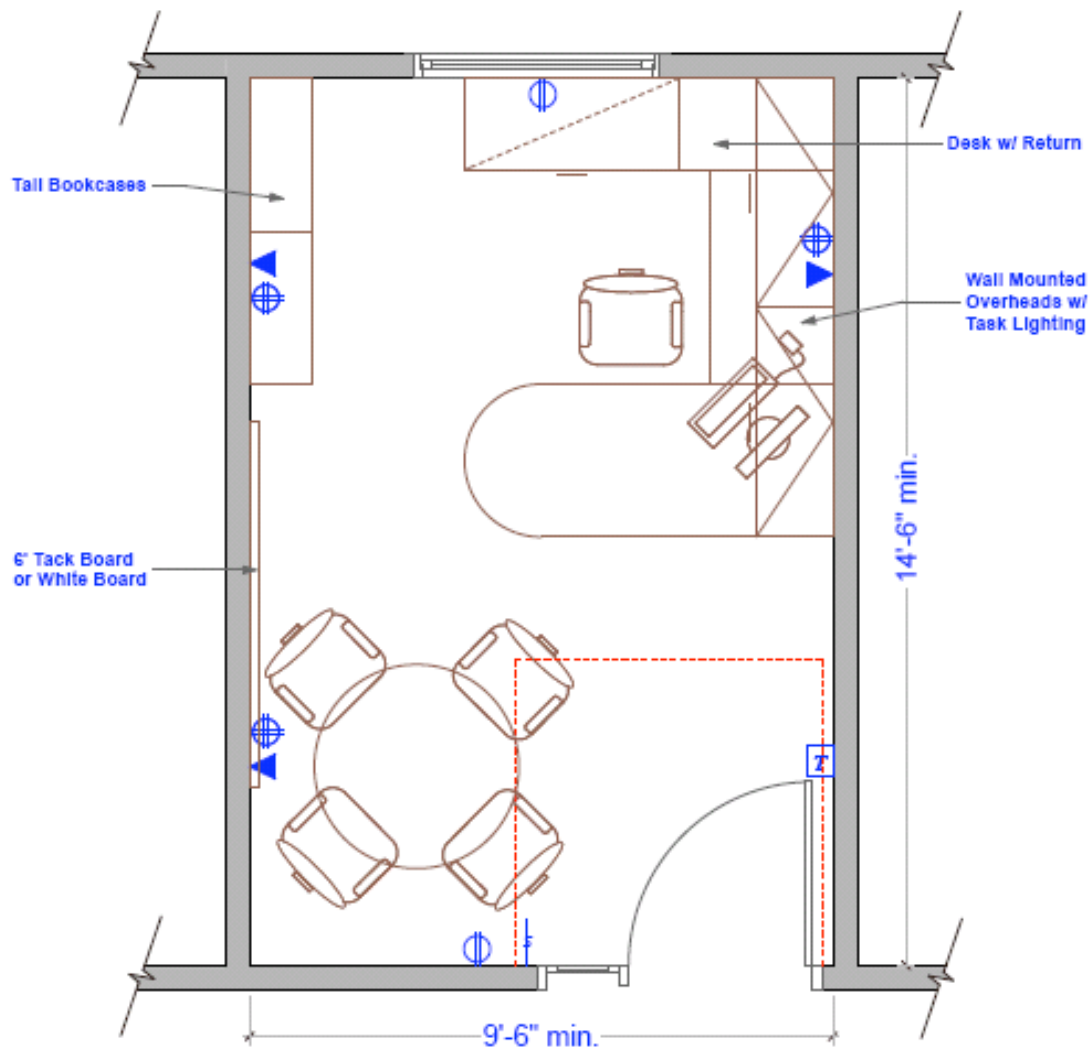


**DIRECTOR OFFICE 120 SQ. FT MINIMUM  
ROOM SIZING OPTION 1**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 28 October 2008



**DIRECTOR OFFICE 140 SQ. FT MINIMUM  
ROOM SIZING OPTION 2**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 28 October 2008

## **Meeting Room Narratives**

### **Huddle Meeting Rooms:**

- Each room is to be sized as a Faculty Office @ 100 square feet for future flexibility, with occupancy of 5 people at one time. Provide power and data connectivity for future office configurations. See Huddle Room Layout for typical layout.
- Building Infrastructure (Group 1 details):
  - Windows with Campus Standard shades
  - Backing behind sheetrock on full length of two walls perpendicular to window (or door) wall, to allow for Group II horizontally mounted overhead cabinets.
  - Power and data placement as a Typical Full Time Faculty Office
  - Tack or White Board, 4' x 4'
- Furniture/accessories (Group 2 details):
  - Storage Credenza
  - Conference Table and Chairs for (5)

### **Small Meeting Rooms:**

- Each room is to be sized approximately 200 square feet, with occupancy of 8 to 10. Ideally these will be placed in groups of two, so that they may be joined to create one Medium Meeting Room of 400 square feet. See Small Meeting Room Layout for typical layout.
- Building Infrastructure (Group 1 details):
  - User movable wall between two Small Meeting Rooms
  - Infrastructure to accept wall mounted Flat Panel Screen, with conduit to accept cabling as needed, that is placed appropriately when the two rooms are joined
  - Windows with Campus Standard shades
  - Minimum of (2) duplex power outlets per wall, and (1) possible floor receptacle, location to be verified with project team

- Telephone/Network port beside power outlets as noted in current District Telecommunication Standards
- 8' Porcelain surface White Boards with tray
- Tack Boards, 4' x 4', integrated into architectural details
- Furniture/accessories (Group 2 details):
  - Flat Panel Screen, wall mounted
  - Credenza below screen, with AV equipment as required
  - Folding or Flip Top Tables, with Stacking or Nesting Chairs for (10)

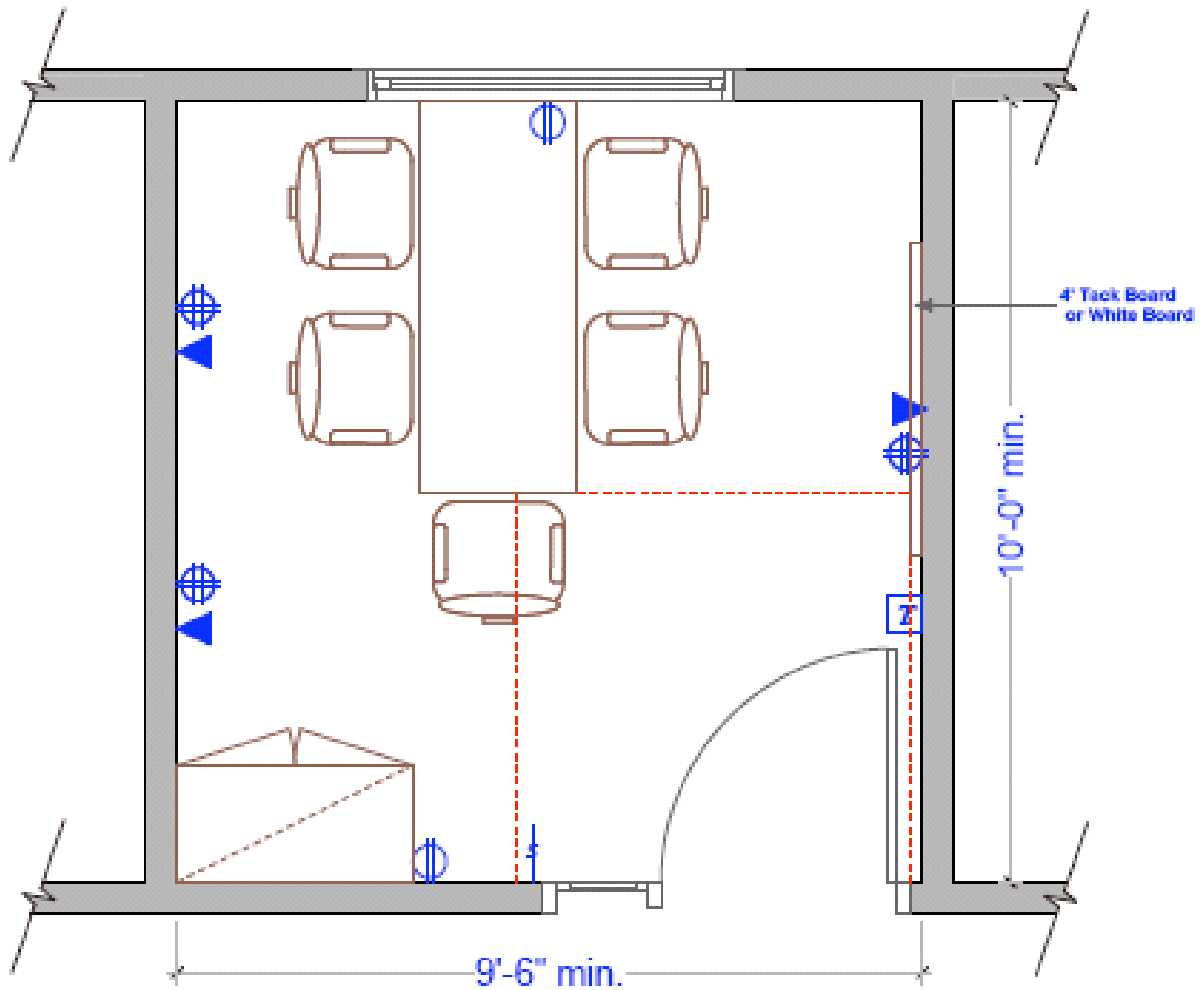
### **Medium Meeting Rooms:**

- Each room is to be sized approximately 400 square feet, with occupancy of 20 to 26, depending upon furniture product. See Medium Meeting Room Layout for typical layout.
- Building Infrastructure (Group 1 details):
  - Infrastructure to accept wall mounted Flat Panel Screen, with conduit to accept cabling as needed
  - Variable lighting controlled near Flat Panel location as well as door
  - Windows with Campus Standard shades
  - Minimum of (2) duplex power outlets per wall, and (2) possible floor receptacle, location to be verified with project team
  - Telephone/Network port beside power outlets as noted in current District Telecommunication Standards
  - 12' Porcelain surface White Boards with tray
  - (2) Tack Boards, 4'H x 4' W, integrated into architectural details
  - Chair Rails on three walls, details to be confirmed with Facilities

- Furniture/accessories (Group 2 details):
  - Flat Panel Screen, wall mounted
  - Credenza below screen, with AV equipment as required
  - Folding or Flip-Top Nesting Tables and stackable chairs

### **Large Meeting or Assembly Rooms:**

- Each room is to be sized approximately 600 square feet, with occupancy of 30 to 40, depending upon furniture product. See Large Meeting Room Layout for typical layout.
- Building Infrastructure (Group 1 details):
  - Infrastructure to accept wall mounted Flat Panel Screen, with conduit to accept cabling as needed
  - Variable lighting controlled near Flat Panel location as well as door
  - Windows with Campus Standard shades
  - Minimum of (3) duplex power outlets per wall, and (4) possible floor receptacles, location to be verified with project team
  - Telephone/Network port beside power outlets as noted in current District Telecommunication Standards
  - 16' Porcelain surface White Boards with tray
  - (4) Tack Boards, 4'H x 4' W, integrated into architectural details
  - Chair Rails on three walls, details to be confirmed with Facilities
  - Storage area for stack chairs and/or tables as needed
- Furniture/accessories (Group 2 details):
  - Flat Panel Screen, wall mounted
  - Credenza or Podium with AV equipment as required
  - Folding or Flip-Top Nesting Tables, and Stackable Chairs



**HUDDLE MEETING ROOM 100 SQ. FT MINIMUM  
5 TO 6 OCCUPANCY**

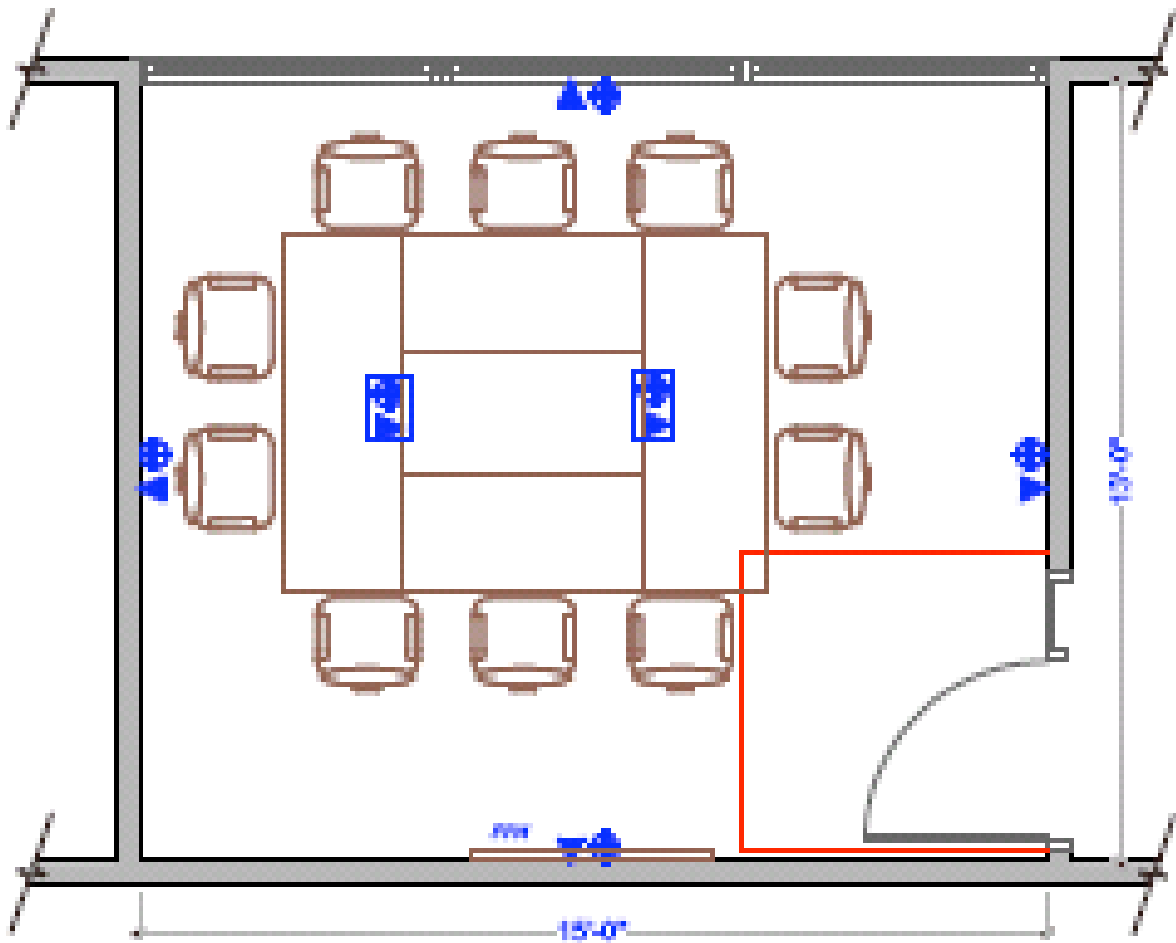
**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 28 October 2008

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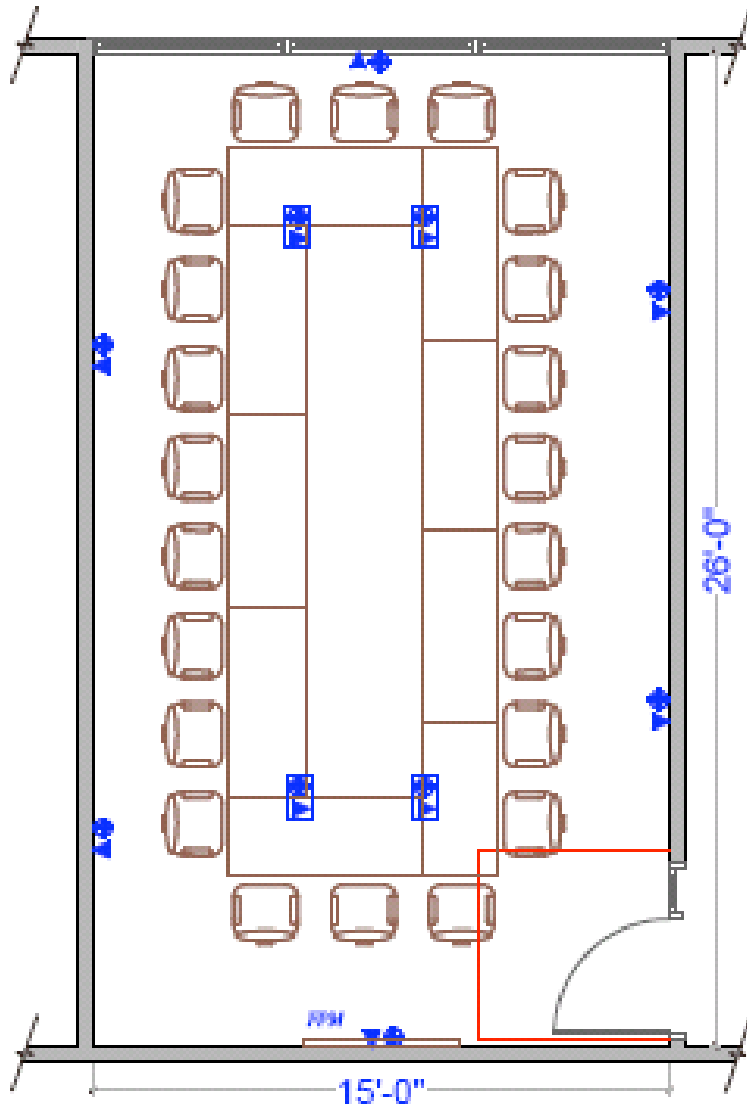
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**SMALL MEETING ROOM 200 SQ. FT MINIMUM  
10 TO 13 OCCUPANCY**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only  
Date: 28 October 2008



**MEDIUM MEETING ROOM 400 SQ. FT MINIMUM  
20 TO 27 OCCUPANCY**

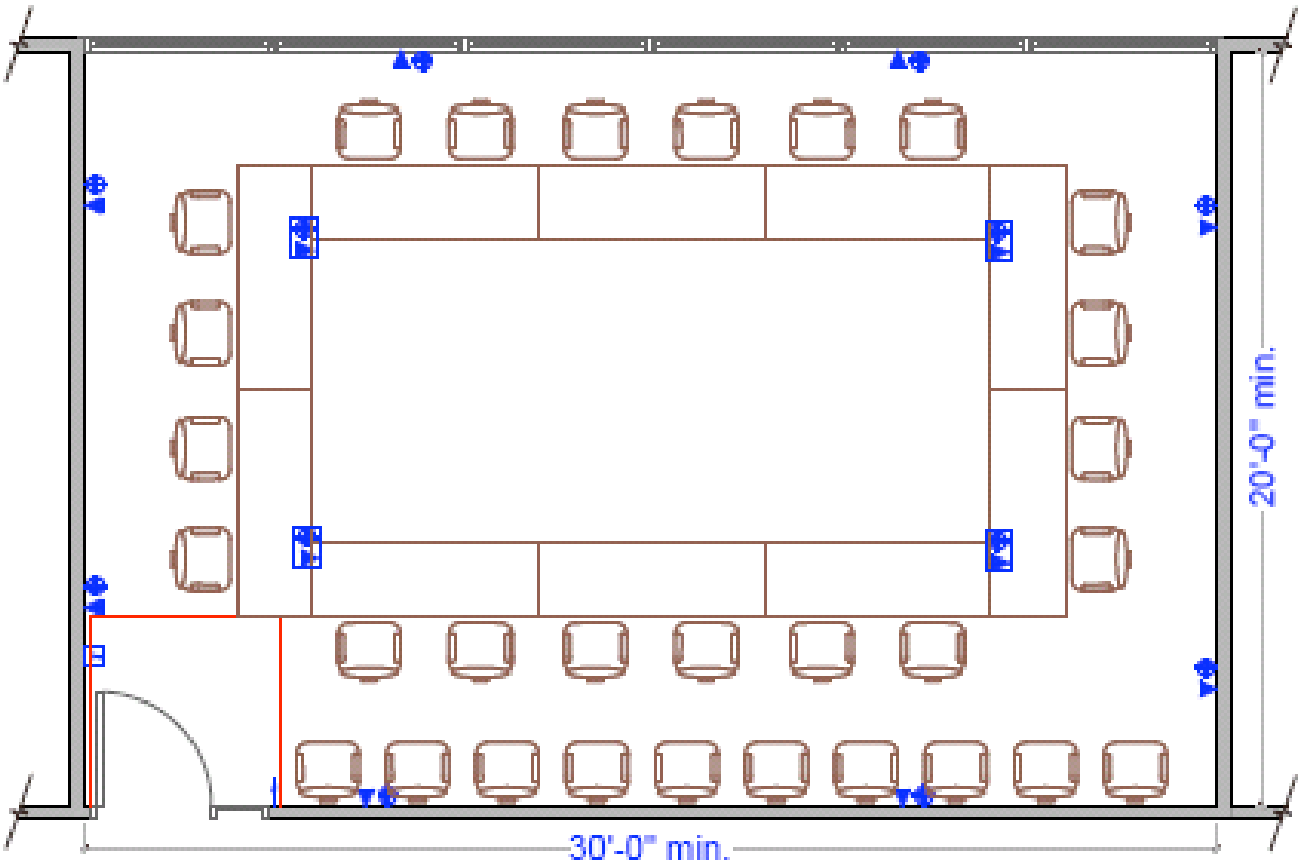
**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 28 October 2008

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**LARGE MEETING ROOM 600 SQ. FT MINIMUM  
30 TO 40 OCCUPANCY**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 28 October 2008

## **Workstation Narrative**

- Specific Workstation requirements will be driven by College requirements per staff job classifications. However, the following information will be used as a Minimum Requirement guideline to assure continuity and future flexibility. Minimum space required: 64 square feet (8'6" x 8'6") per full time occupant, including "panel creep"; 48 square feet (6'6" x 8'6") per part time occupant, including "panel creep".
- Building Infrastructure – Workstations (Group 1 details):
  - Base power in-feed connection per cluster of 6 workstations, using 8 wire, 3 + 1 power access (actual in-feed will be provided by vendor)
  - Minimum of (3) voice and (3) data receptacle per workstation, with terminations of receptacle to be attached to workstation panels or worksurface. Confirm specifics with campus IT Department at time of design
  - (2) additional Data and Voice receptacle locations per cluster of (4) workstations for future requirements
  - Minimum of one workstation area per department dedicated to filing storage, with power, voice and data connectivity for future workstation usage
- Furniture/accessories – Workstations (Group 2 details):
  - Adjustable Height Worksurface with mobile drawer storage (Pencil/Box/File Combination)
  - Ergonomic Office Task Chair on casters
  - 8' of Binder/Book Storage, and 10' of Filing Storage within stations
  - Access to 36' of Filing Storage near by, per cluster of (6) stations
  - Task specific lighting beneath overhead units
  - (1) Guest chair
  - Computer (refer to District IT Standards for current Staff configurations)
  - Access to shared Network Printer

## **General Concerns and Comments for all Classroom Spaces**

Originally, classroom sizes were developed with the assumption that all students would be sitting in Tablet Arm Chairs, which by code require 15 square foot per person. Over time, the utilization of other types of furniture, the influx of technology, and varying pedagogies have pushed that square footage requirement to 20 square foot per person in order to accommodate both safety and flexibility goals. The Space Standards Guidelines Committee is proposing the following requirements layouts be used as a guideline for typical classroom and instructional space design and implementation, District wide, regardless of location in a new or remodeled space.

The proposed guidelines reflect the clearances required for the **effective** utilization of Furniture and Equipment within each space. The desired minimum **usable** square footage is based upon the new, state supported 20 square foot per occupant. Each room should be designed to include all infrastructure needed to allow for two “front of room” configurations for future program or college flexibility.

Should a project architect find that they can not provide one of these minimum requirements, all variations must be presented to the campus Facilities Committee for development of a revised approval. These variations are to be project specific, rather than wholesale across the Facilities Design Guidelines document.

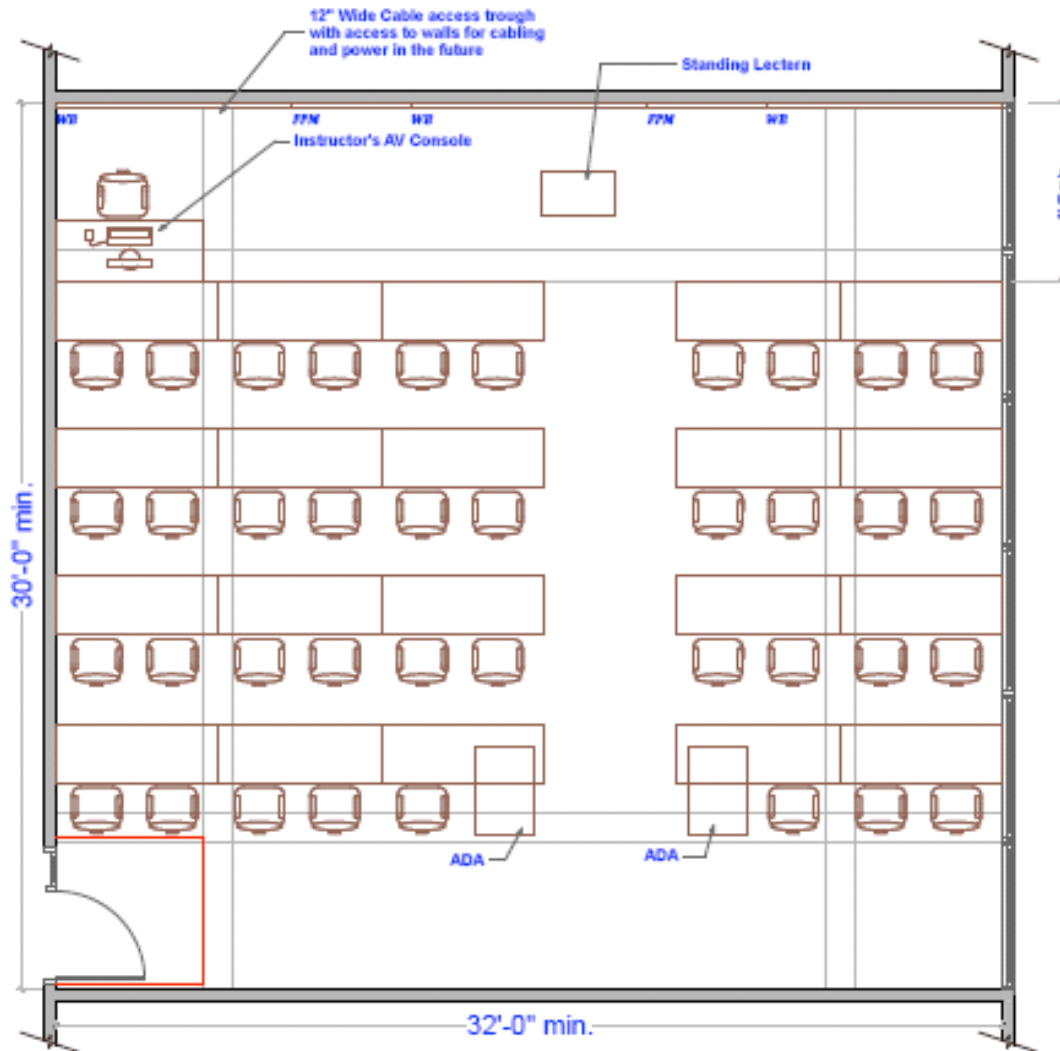
The sub-committee acknowledges with these Design Guidelines that structural details, such as columns, and architectural details, such as windows, may impact the final layout options available to the project team. Each configuration offered allows for a minimum of two options **after** these issues have been taken into consideration.

In order to effectively support the layouts and requirements of these spaces, the Facilities Design Guidelines Committee requests that the architect specify that all light switches, thermostats or wall mounted equipment be placed within the ADA zone (within 60” inches inside a room with an inward opening door, or within 18” of the strike side of a door). This information will need to be communicated to the contractor in such as way that they accept responsibility for moving any wall mounted unit which is placed outside of this area.

Please note that the District intends to provide technology enabled classrooms throughout the campuses, regardless of initial requirements by the specific project teams. Refer to current District Telecommunication Standards for additional information on the details for a typical configuration, and provide all infrastructure to accommodate this requirement.

## **Typical New Classrooms Narrative**

- Each room is to be sized approximately 1,000 square feet, with minimum occupancy of 35 students and 1 Instructor. Additional seating for overflow is to be anticipated. See Typical Classroom Layouts for options.
- Building Infrastructure (Group 1 details):
  - Infrastructure to accept wall mounted Flat Panel Screen, with conduit to accept cabling as needed
  - Variable lighting controlled near Flat Panel location as well as door
  - Windows with Campus Standard blinds where applicable
  - Minimum of (2) duplex power outlets per wall
  - 12" wide cable access tray in floor, 6' from each wall, leading to wall with (2) 1" conduit for future cabling and power requirements. See Typical Classroom Layout for placement
  - Telephone/Network port beside power outlets as noted in current District Telecommunication Standards
  - Minimum of 16' Porcelain surface White Boards with tray
  - (2) Tack Boards, 4'H x 4' W, integrated into architectural details
  - Chair Rails on three walls, details to be confirmed with Facilities
  - Spacing at back of classroom to accept 18"D storage cabinets in future
- Furniture/accessories (Group 2 details):
  - Flat Panel Screen, wall mounted
  - Instructor's Console, with AV equipment as required
  - Lecture Podium, Table Top or Floor Based
  - Tables with Chairs for (40) Students
  - Possible Storage Cabinets along back wall of room



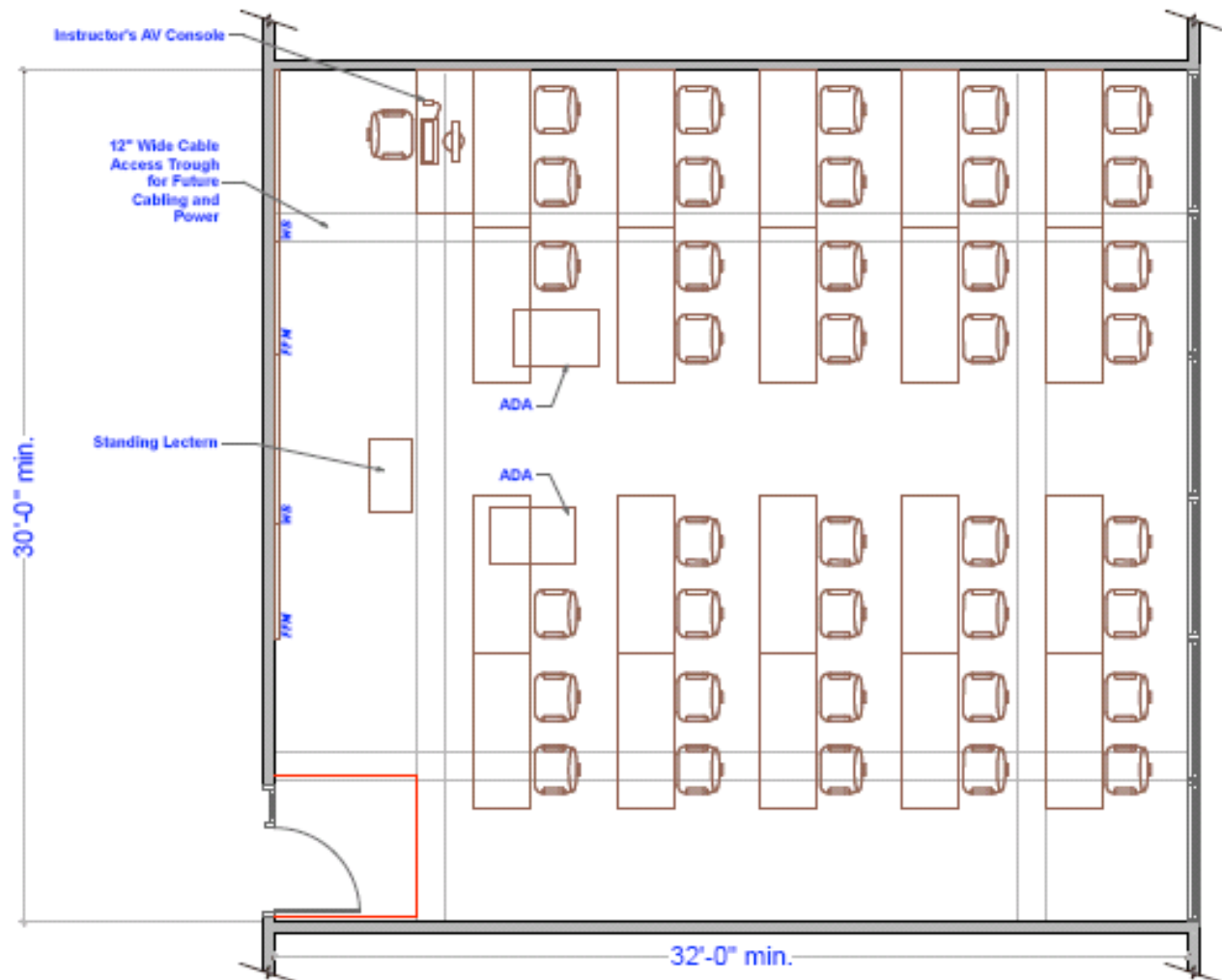
**TYPICAL NEWCLASSROOM 1,000 SQ. FT MINIMUM  
LAYOUT OPTION 1 - 40 STUDENTS AT TABLES & CHAIRS, OR 48  
IN STUDENT DESKS**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 28 October 2008

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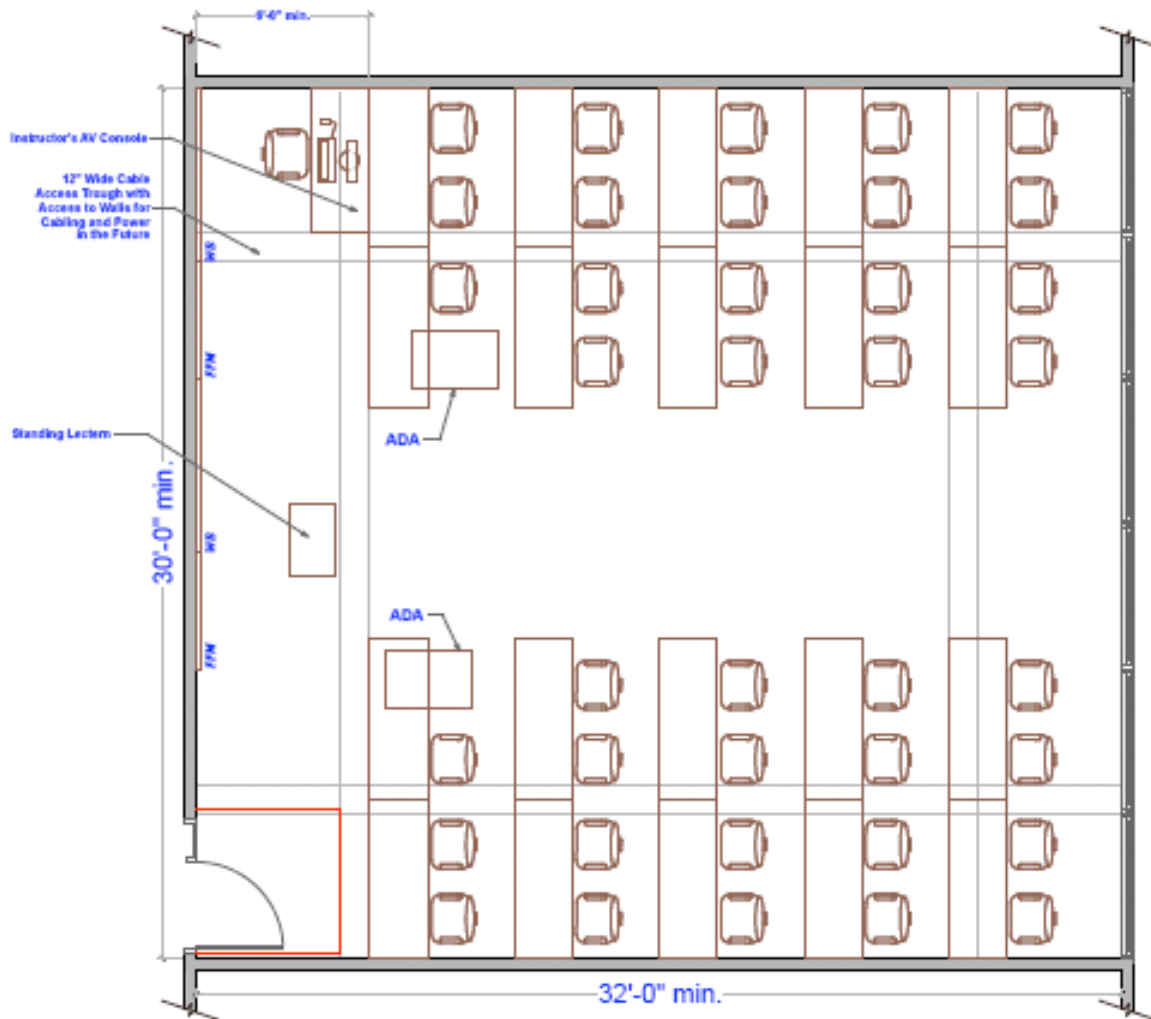


**TYPICAL NEW CLASSROOM 1,000 SQ. FT MINIMUM  
LAYOUT OPTION 2 - 40 STUDENTS AT TABLES & CHAIRS, OR 48  
IN STUDENT DESKS**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 28 October 2008

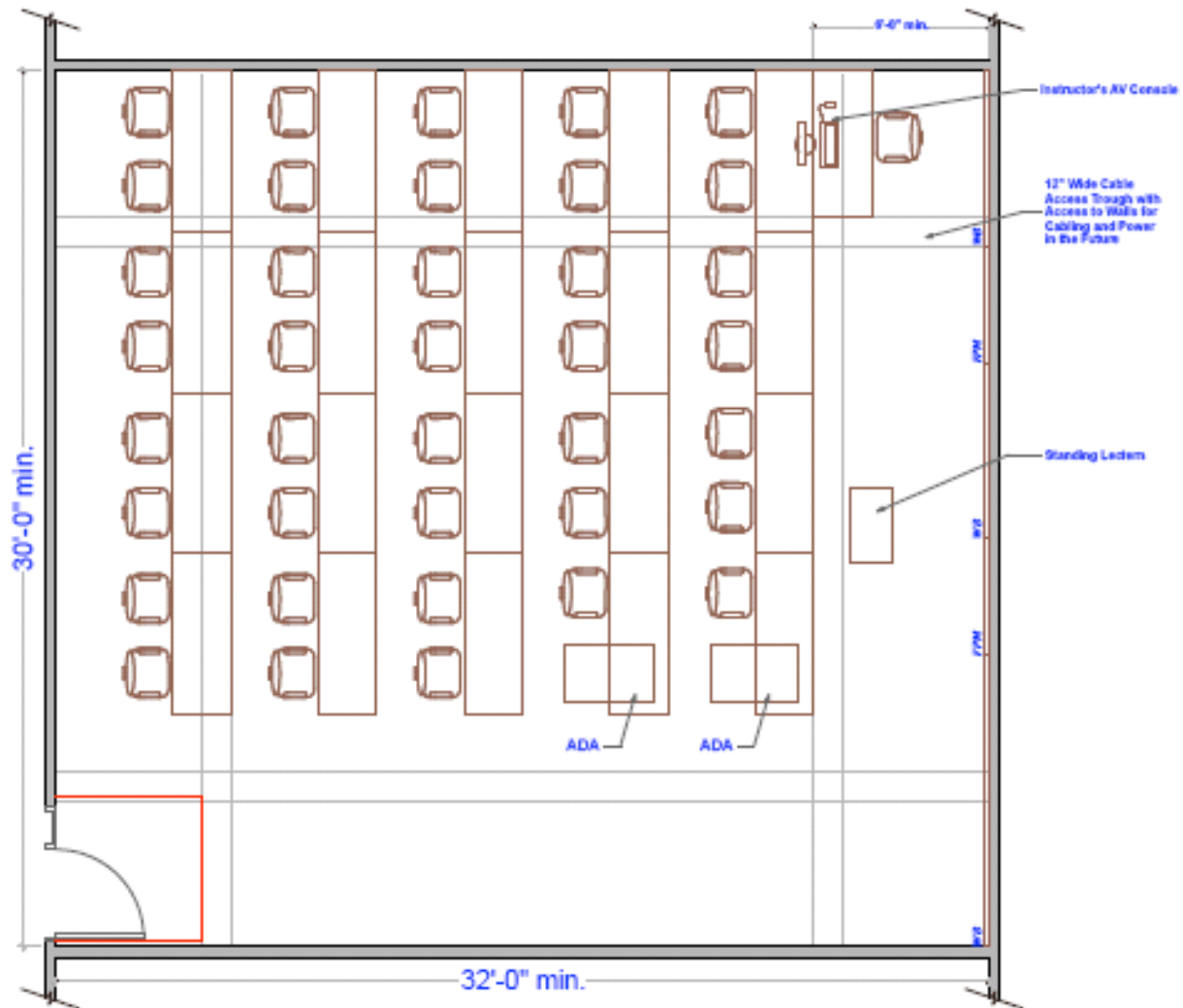


**TYPICAL NEW CLASSROOM 1,000 SQ. FT MINIMUM  
LAYOUT OPTION 3 - 40 STUDENTS AT TABLES & CHAIRS, OR 48  
IN STUDENT DESKS**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 28 October 2008



**TYPICAL NEW CLASSROOM 1,000 SQ. FT MINIMUM  
LAYOUT OPTION 4 – 40 STUDENTS AT TABLES & CHAIRS, OR 48  
IN STUDENT DESKS**

**YCCD Facilities Design Guidelines**

Approximate Room Sizing Only

Date: 28 October 2008

## **Typical Existing Classrooms Narrative**

- Given the preponderance of smaller rooms and narrower buildings in the current District facilities, architectural teams are to use the following guidelines to help maximize utilization of the remodeled spaces. If possible, each classroom is to be sized no less than 800 square feet, with minimum occupancy of 30 students.
  
- Building Infrastructure (Group 1 details):
  - Infrastructure to accept wall mounted Flat Panel Screen, with conduit to accept cabling as needed
  - Variable lighting controlled near Flat Panel location as well as door
  - Windows with Campus Standard blinds where applicable
  - Minimum of (2) duplex power outlets per wall
  - If feasible, 12" wide cable access tray in floor, 6' from each wall, leading to wall with (2) 1" conduit for future cabling and power requirements. See Typical Classroom Layout for recommended placement
  - Telephone/Network port beside power outlets as noted in current District Telecommunication Standards
  - Minimum of 16' Porcelain surface White Boards with tray
  - (2) Tack Boards, 4'H x 4' W, integrated into architectural details
  - Chair Rails on three walls, details to be confirmed with Facilities
  
- Furniture/accessories (Group 2 details):
  - Flat Panel Screen, wall mounted
  - Instructor's Console, with AV equipment as required
  - Lecture Podium, Table Top or Floor Based
  - Tables with Chairs for (30) Students